

to

REPORT COA2019-048

FILE NO: D03-2019-019

Geographic Township  
of Verulam

Peterborough  
County

'Trent Lakes'

K.L. Road #49

Alma Rd

Bick St

SUBJECT  
LAND

Dunn St

Taylor St

East St N

Road #36

Jane St

Main St.

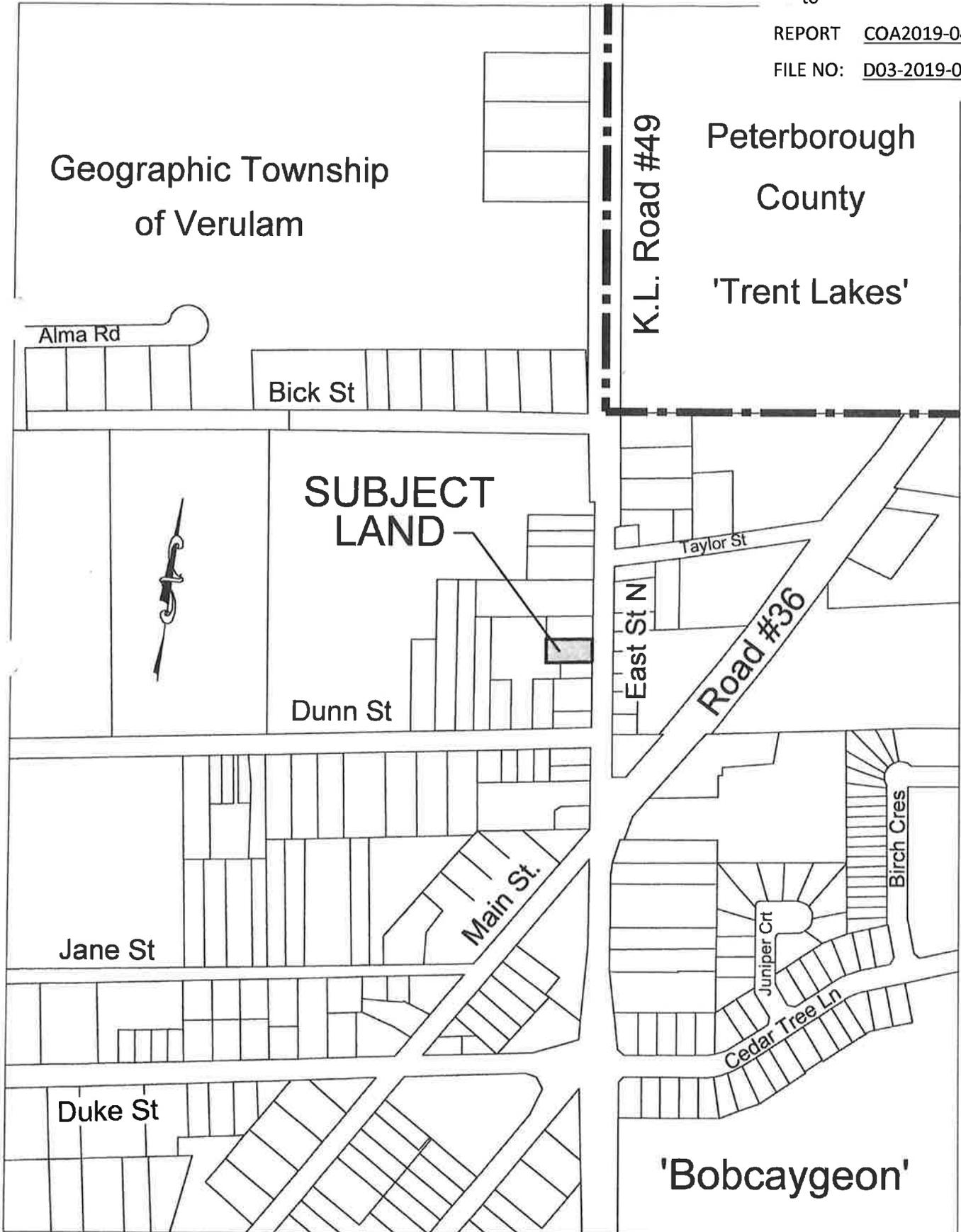
Birch Cres

Juniper Crt

Cedar Tree Ln

Duke St

'Bobcaygeon'



to

REPORT COA2019-048

FILE NO: D03-2019-019

168 East Street North





to

Proposed Conditions – Application D03-2019-019

REPORT COA2019-048FILE NO: D03-2019-019

1. This approval applies to the transaction applied for.
2. The owner shall apply for, pay the prescribed fee, and obtain a variance for the lot to be severed and the lot to be retained such that the minimum lot frontage requirement be reduced from 15 metres to the 11.2 metres proposed in the application, and the variance be in effect.
3. Submit to the Secretary-Treasurer written confirmation from the City's Manager of Road Operations that an entrance permit would be available for the lot to be severed and the lot to be retained, or written confirmation that the applicant has satisfied the City's requirements with respect to the two proposed entrances.
4. Payment of cash-in-lieu of the dedication of parkland, equal to 5% of the appraised value of the land to be severed, as determined by an experienced and qualified land appraiser (CRA or AACI) as of the day before the day the provisional consent was given. The appraisal report shall accompany the cash-in-lieu payment. The City is not required to accept the appraisal report and reserves the right to peer-review the appraisal report and negotiate the cash-in-lieu payment. Payment shall be made by certified cheque, money order, or from a lawyers trust account.
5. Submit to the Secretary-Treasurer one copy of the preliminary reference plan of survey of the lot to be severed for review and endorsement and the subsequent registered reference plan of survey.
6. Submit to the Secretary-Treasurer payment of all past due taxes and charges added to the tax roll, if any, at such time as the deeds are stamped.
7. Payment to the City of Kawartha Lakes of the stamping fee prevailing at the time the deeds are stamped, for the review and clearance of these conditions. The current fee is \$450.00. Payment shall be by certified cheque, money order, or from a lawyers trust account.
8. Submit to the Secretary-Treasurer a deed in triplicate for endorsement with the certificate of consent which deed shall contain a registerable description of the parcel of land described in the decision.
9. The owner shall pay all costs associated with the registration of the required documents.
10. The owner's solicitor shall provide a written undertaking to the Secretary-Treasurer confirming, pursuant to Subsection 53(43) of the Planning Act, that the deed in respect of this transaction shall be registered in the proper land registry office within six months from the date that the Secretary-Treasurer's certificate is stamped on the deed, failing which the consent shall lapse.
11. The owner's solicitor shall also undertake to provide a copy of the registered Transfer to the Secretary-Treasurer as conclusive evidence of the fulfillment of the above-noted undertaking.

12. All of these conditions shall be fulfilled within a period of one year after the giving of the Notice of Decision, failing which, pursuant to Subsection 53(41) of the Planning Act, this consent shall be deemed to be refused.

APPENDIX " E "

to

REPORT COA2019-048

FILE NO. D03-2019-019

City of Kawartha Lakes – Development Services  
Planning Division  
180 Kent Street, W.  
Lindsay, ON K9V2Y6

Dear Mr. Harding,

**Re: Consent Application – File No. D03-2019-019  
168 East Street North, Part Block W, Plan 29  
Former Village of Bobcaygeon, Ward 2**

**RECEIVED**

**MAY 21 2019**

City of Kawartha Lakes  
Development Services  
Planning Division

At this time, I would like to address the notification of the proposed consent to sever the above described property, that I have received.

Please accept my concerns as follows:

The division of this lot does not meet the official by-law and does not conform with the Urban Residential Type One (R1) Zone

This lot is only 73.5 feet wide and does not meet the frontage required to divide the said lot.

**According to the official plan each lot must have a frontage of no less than 50 feet while on municipal services and each of these lots would end up only having a frontage of 36.75 feet. After allowing for a 4 foot side yard, that would allow for a dwelling to be only 28.75 feet wide.**

**This would deplete each lot and decrease the privacy and enjoyment for others.**

Also, by dividing this lot there will have to be an additional entrance permit granted by the Department of Highways.

This location is adjacent to one of the busiest corners in the Village of Bobcaygeon.

It is surrounded by School Buses turning to the Public School

There is a 4 way stop within a very short distance of the subject lot

There is an automatic car wash exit across the street from the subject lot

There is a self serve gas station on the corner of East Street North and Hwy. 36 which also has parking on East Street North and additional parking areas plus a 3 bay self serve carwash all of which create an exorbitant amount of traffic.

There is an excessive amount of traffic coming North down Hwy, 49 during the summer months when cottagers and tourist are coming into or through Bobcaygeon. Also, the 60 km zone is ignored on a regular basis.

Large tractor trailer trucks are regularly travelling down Hwy. 49, from nearby quarries carrying large, heavy loads.

As you can see, this is a very busy location and an addition of another dwelling with other cars backing out into this high traffic area is a huge concern for public safety.

In closing, I do not approve of the Application for Consent to sever the above described property for the reasons noted above.

Respectfully submitted by,  
Mrs. Terri Megraw

Thurs. May 9, 2019  
Bobcaygeon, Ont.

Re: Consent Application - File No. D03-2019-019  
168 East Street North  
Part Block W. Plan 29  
Former Village of Bobcaygeon, Ward 2

This is to inform the Committee of Adjustment that we the undersigned oppose the application to sever the above listed property into 2 37 foot lots. We are not at all opposed to Habitat for Humanity (Peterborough and District) building one (1) dwelling on this property.

SE Moore  
Diane Moore

Scott Elliott Moore  
Diane Lynn Moore  
163 East Street North,  
Bobcaygeon, Ont.

RECORDED

MAY 13 2019

582-1000-10-10  
10-10-10-10-10  
10-10-10-10-10

**Charlotte Crockford-Toomey**

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**From:** Derryk Wolven  
**Sent:** Thursday, April 25, 2019 9:20 AM  
**To:** Charlotte Crockford-Toomey  
**Subject:** consents

APPENDIX " F "  
to  
REPORT COA2019-048  
FILE NO. D03-2019-019

Please be advised building has the following comments:

D03-2019-015 No concerns  
D03-2019-018 No concerns  
D03-2019-019 No concerns

Kind regards,

**Derryk Wolven, CBCO**  
Plans Examiner  
Development Services, Building Division, City of Kawartha Lakes  
705-324-9411 ext. 1273 [www.kawarthalakes.ca](http://www.kawarthalakes.ca)





The Corporation of the  
**City of Kawartha Lakes**  
Community Services  
50 Wolfe Street  
Lindsay, Ontario K9V 2J2  
Tel: 705-324-9411 ext 1300  
Toll Free: 1-888-822-2225  
[ldonnelly@kawarthalakes.ca](mailto:ldonnelly@kawarthalakes.ca)  
[www.kawarthalakes.ca](http://www.kawarthalakes.ca)

LeAnn Donnelly, Executive Assistant, Community Services

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## MEMORANDUM

**DATE:** May 3, 2019  
**TO:** David Harding, Planner II  
**FROM:** LeAnn Donnelly, Executive Assistant, Community Services  
**RE:** Various Applications

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This memorandum confirms receipt of various applications for Consent to the Community Services Department. Our Department would request that, as a condition of this Consent, the Committee consider the appropriate cash-in-lieu of parkland against the value of each lot created for the following applications:

D03-2019-019      168 East Street North, Bobcaygeon

*LeAnn Donnelly*

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LeAnn Donnelly  
Executive Assistant, Community Services

## Charlotte Crockford-Toomey

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**From:** Christina Sisson  
**Sent:** Monday, May 06, 2019 11:41 AM  
**To:** Mark LaHay  
**Cc:** David Harding; Kirk Timms; Kim Rhodes; Lisa Peimann; Charlotte Crockford-Toomey  
**Subject:** 20190506 D03-2019-019 Engineering Review  
**Attachments:** 20190503 D03-2019-019 168 East Street North, Bobcaygeon Engineering Review.docx  
  
**Importance:** High

Good morning,

Further to our review of the above noted consent, we confirm we have no objection from an engineering perspective as noted in the attached memorandum and italicized comment. We do note that the proposed new lot will require services which will necessitate the Municipal Service Connection process.

Thank you,

**Christina Sisson, P.Eng.**  
Supervisor, Development Engineering  
Engineering & Corporate Assets, City of Kawartha Lakes  
705-324-9411 ext. 1152 [www.kawarthalakes.ca](http://www.kawarthalakes.ca)





Engineering & Corporate Assets Department  
P.O. Box 9000, 12 Peel Street  
Lindsay ON K9V 5R8  
Tel: (705) 324-9411 Ext. 1152  
Fax: (705) 324-2982  
e-mail: [csisson@kawarthalakes.ca](mailto:csisson@kawarthalakes.ca)  
website: [www.kawarthalakes.ca](http://www.kawarthalakes.ca)

## MEMORANDUM

**TO:** Mark LaHay, Acting Secretary-Treasurer

**CC:** Kirk Timms, Senior Engineering Technician  
Roberta Perdue, Senior Engineering Technician  
Kim Rhodes, Administrative Assistant  
Charlotte Crockford-Toomey, Administrative Assistant

**FROM:** Christina Sisson, Supervisor, Development Engineering

**DATE:** May 3<sup>rd</sup>, 2019

**SUBJECT:** Application for Consent  
D03-2019-019 168 East Street North  
Part Block W, Plan 29  
Former Village of Bobcaygeon, Ward 2

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The Development Engineering Division has reviewed the City of Kawartha Lakes Notice of Application for Consent received on April 25<sup>th</sup>, 2019.

It is our understanding that the applicant is applying to sever approximately 507.02 square metres of vacant residential land and retain approximately 505.35 square metres of vacant residential land.

*Further to our engineering review of the above noted application, we confirm we have no objection to the proposed consent and provide the following engineering comments:*

- *The proponent is advised that the City has a Municipal Service Connection process for services to be reviewed for the proposed residential lot*

In providing technical review on behalf of the City, we respectfully request that the Development Engineering Division be circulated any additional information brought forward through the commenting period that changes the intent of the consent application. Please provide us with the Notice of Decision for our confirmation.