

An aerial photograph of a residential area. A road runs diagonally from the bottom left towards the top right. To the left of the road is a body of water. To the right of the road is a residential neighborhood with many houses and trees. The text is overlaid on the image.

331 Logie Street and Vacant Land on Logie Street

**Lepha Properties Inc.
Part of Lot 18, Concession 6 and
All of Block 74, 57M-797
Town of Lindsay, City of Kawartha Lakes**

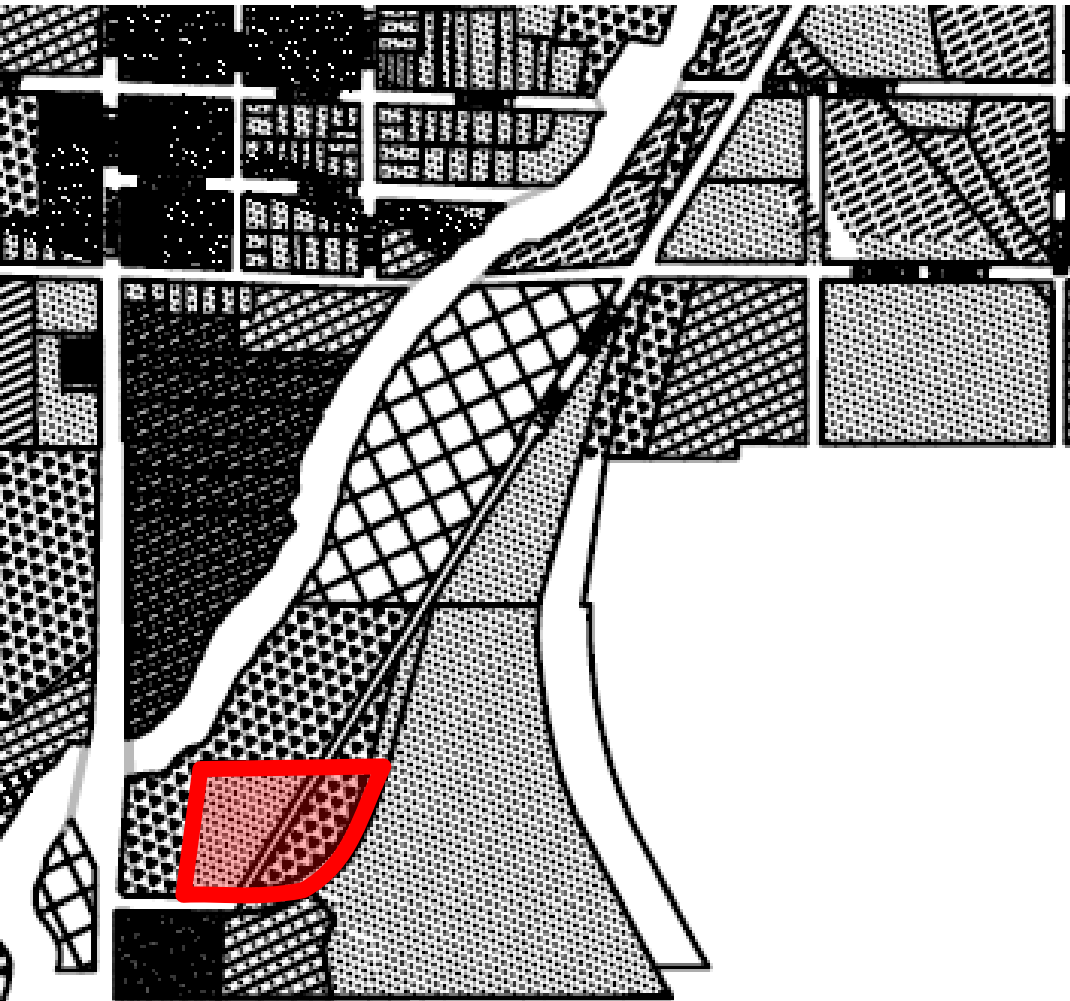
SITE LOCATION



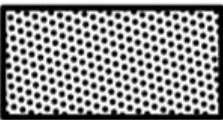
EXISTING POLICY CONTEXT

 Subject Lands

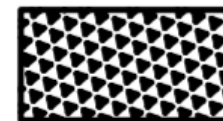
TOWN OF LINDSAY OFFICIAL PLAN, 2000



Town of Lindsay Official Plan, Schedule A

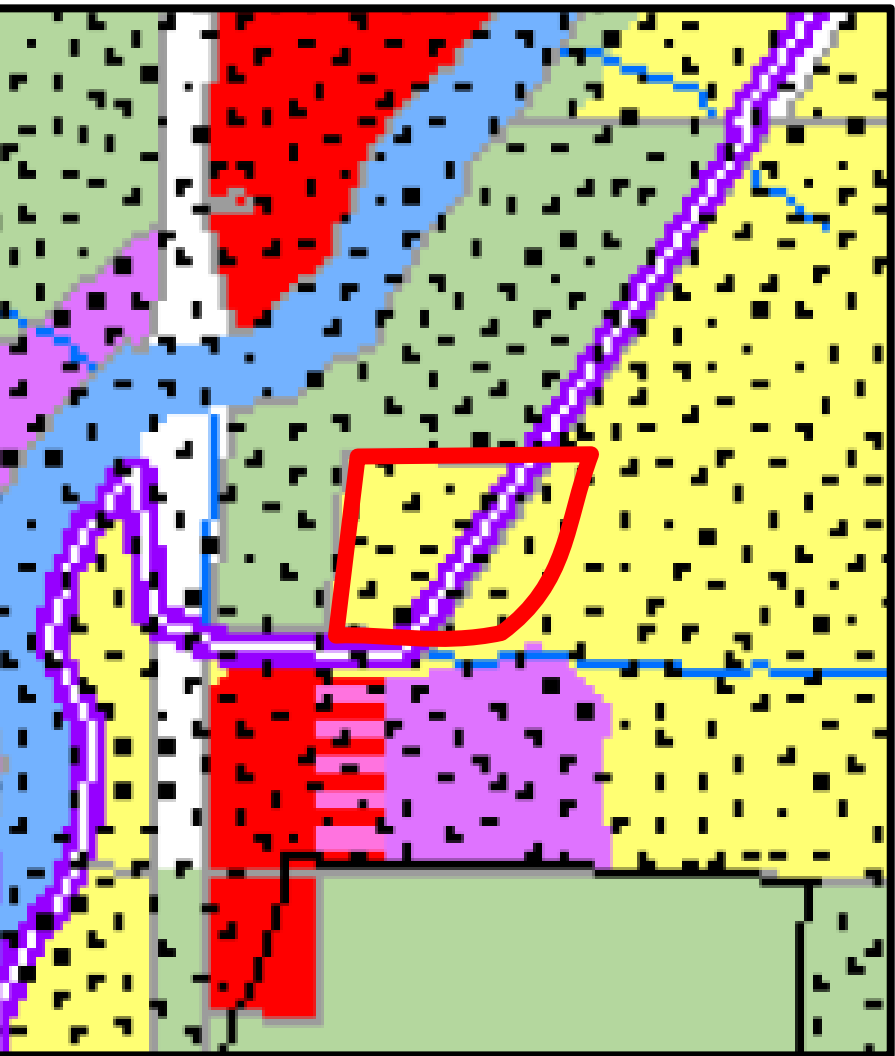


RESIDENTIAL

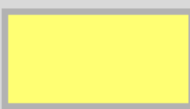


PARKS AND OPEN SPACE

LINDSAY SECONDARY PLAN, 2016
(OPA 16 – UNDER APPEAL)



Lindsay Secondary Plan, Schedule F-1

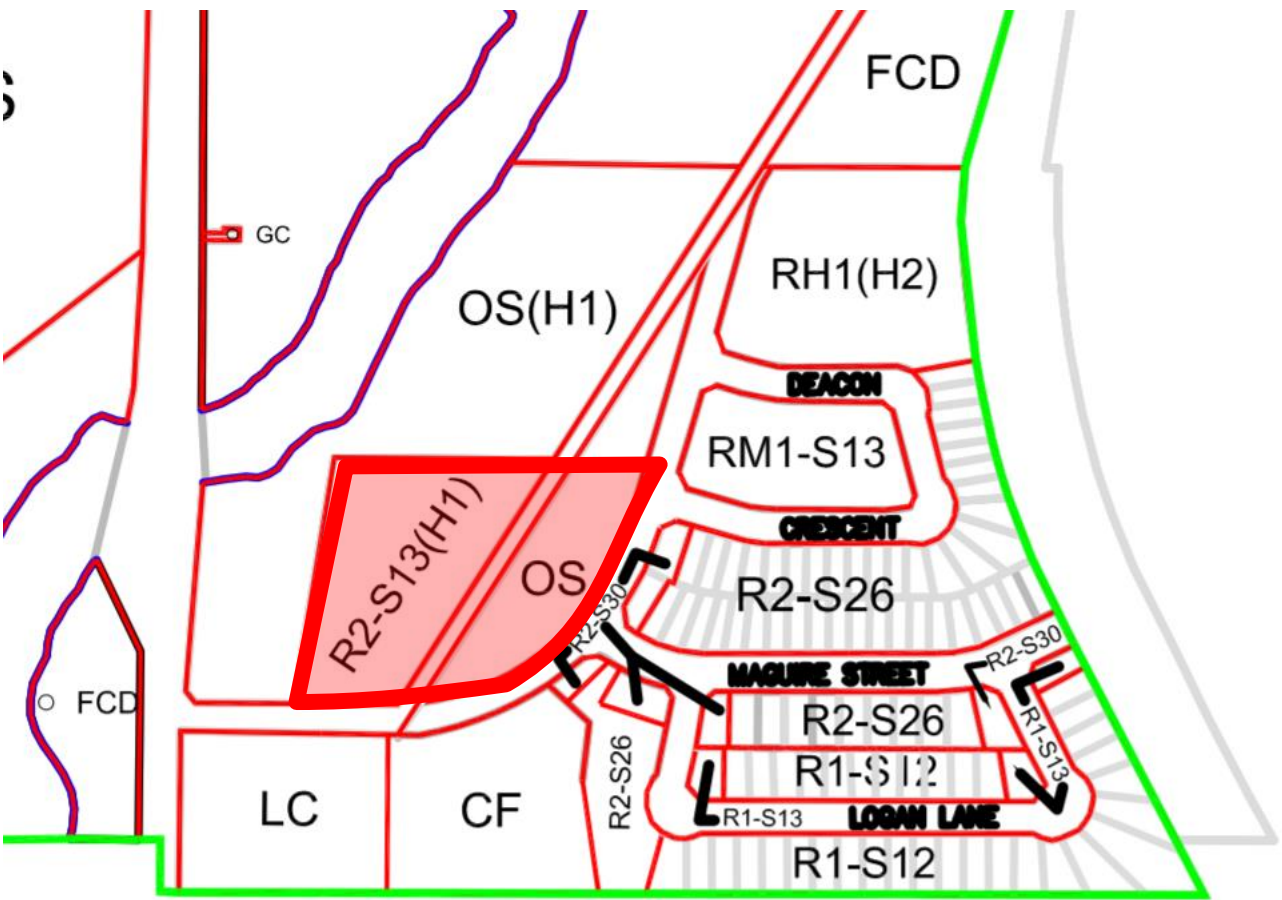


Residential



Intake Protection Zone

TOWN OF LINDSAY COMPREHENSIVE
ZONING BY-LAW 2000-75



R2-S13 (H1)

OS – OPEN SPACE



PROPOSAL

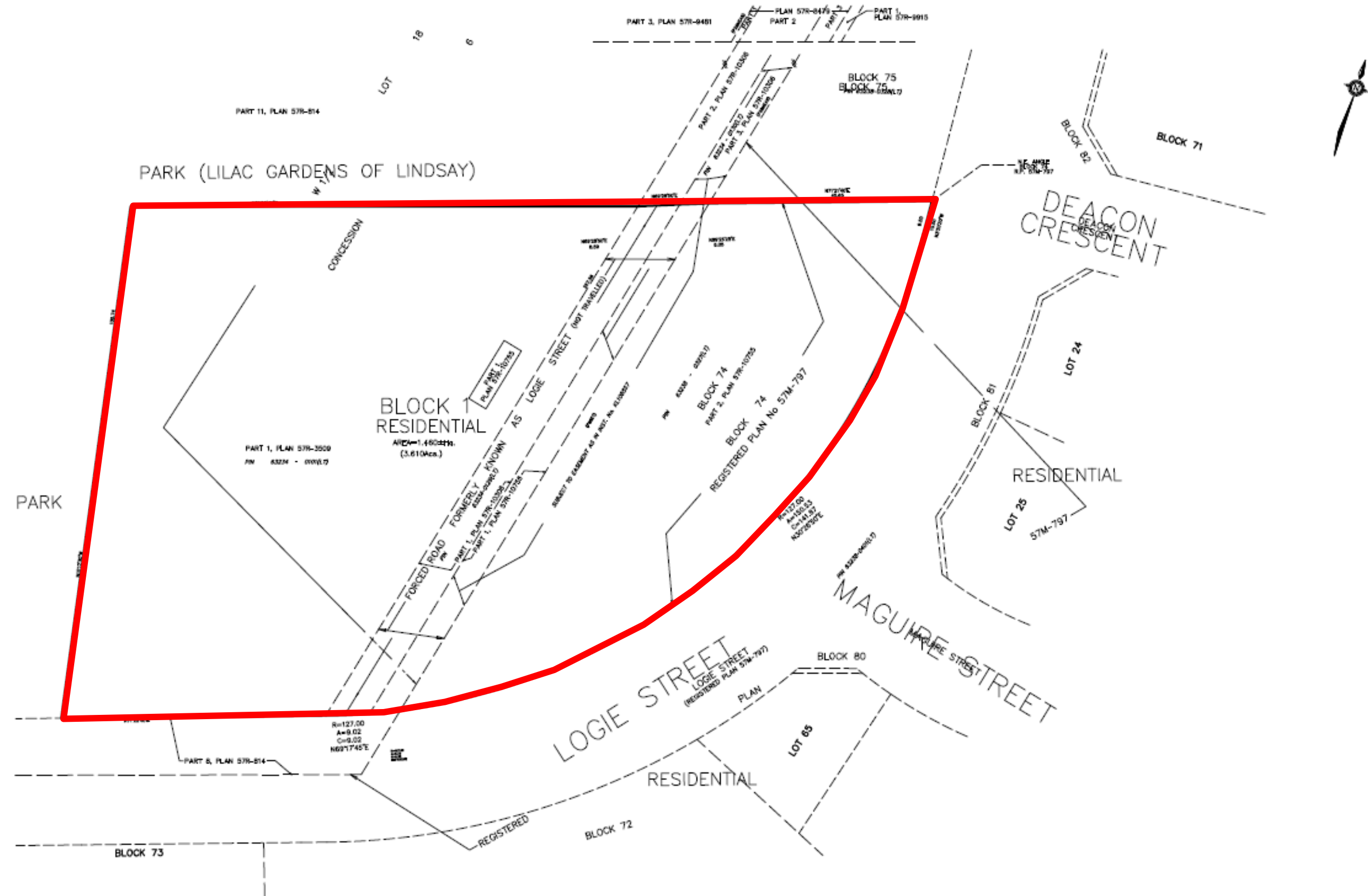
- 45 Multiple Attached (Townhouse) Dwellings (Condominium Tenure)
- 2 Private Roads with 1 Connection to Logie Street
- 1 Stormwater Management Block
- 1 Water Meter Room
- 12 Visitor Parking Spaces



PROPOSED DRAFT PLAN OF SUBDIVISION



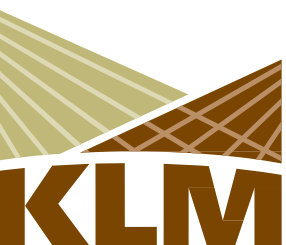
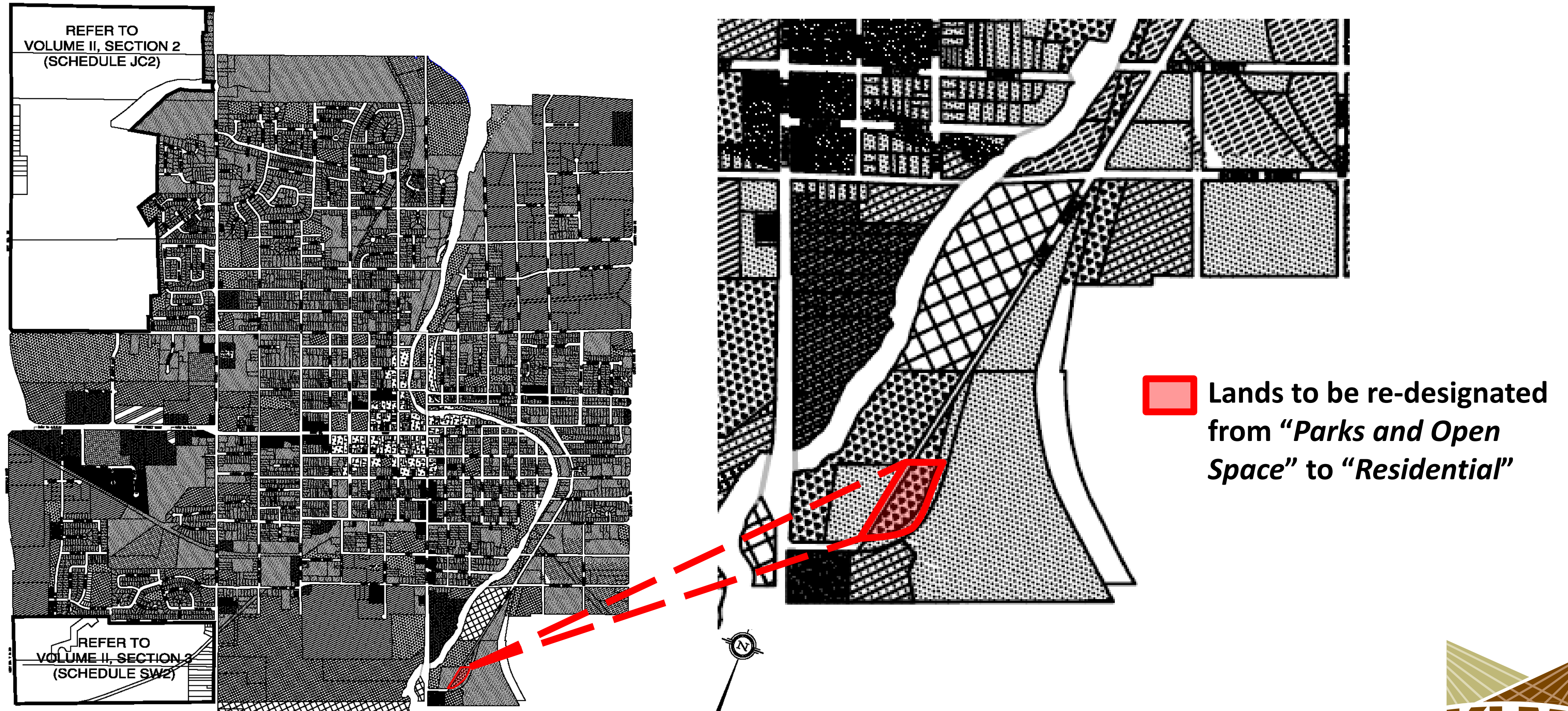
Development Block



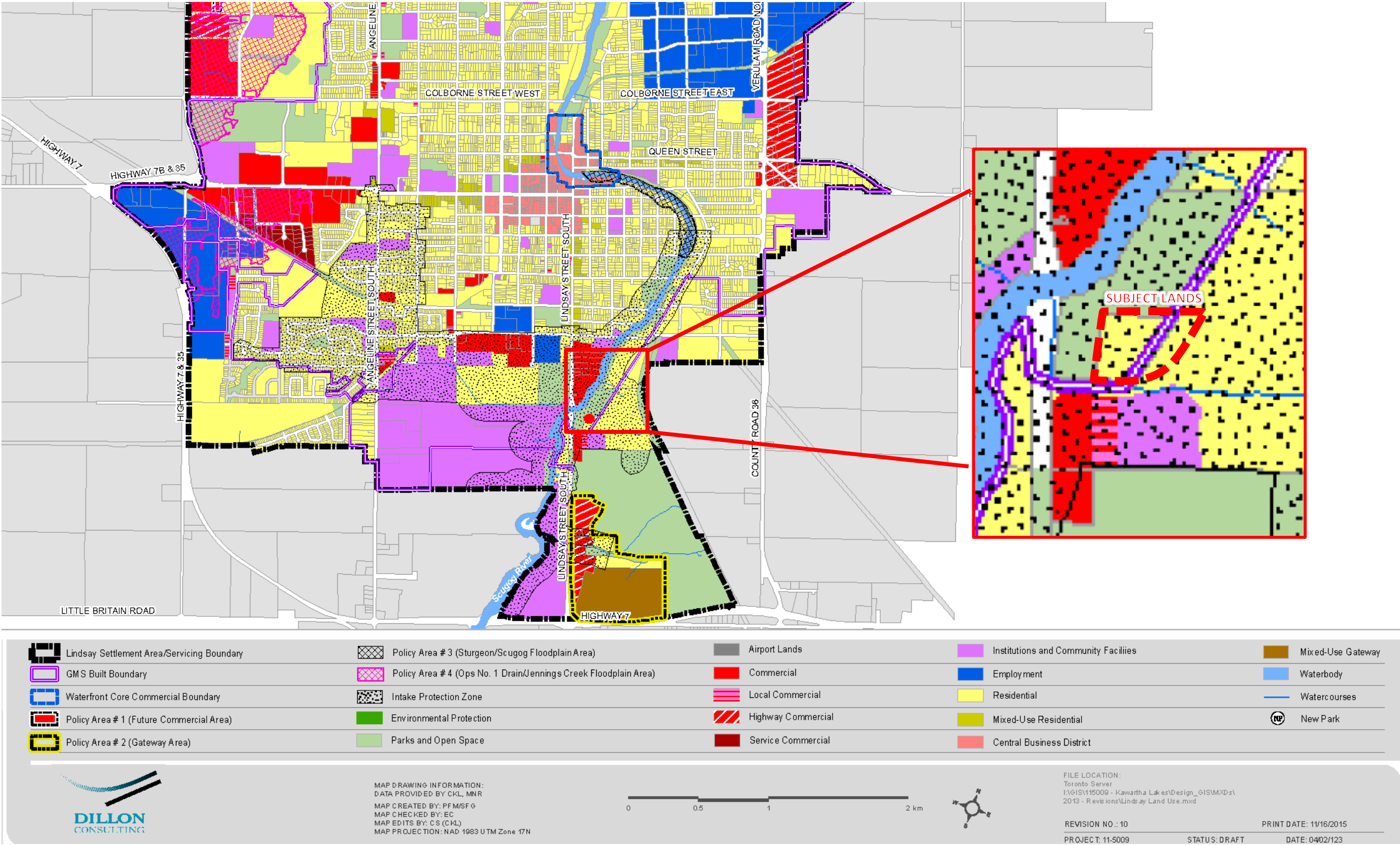
331 LOGIE STREET & VACANT LAND ON LOGIE STREET
PART OF LOT 18, CONCESSION 6 and ALL OF BLOCK 74, 57M-797
TOWN OF LINDSAY

February 10, 2021

PROPOSED OFFICIAL PLAN AMENDMENT



COUNCIL APPROVED LINDSAY SECONDARY PLAN (OPA 16)



331 LOGIE STREET & VACANT LAND ON LOGIE STREET
PART OF LOT 18, CONCESSION 6 and ALL OF BLOCK 74 , 57M-797
TOWN OF LINDSAY

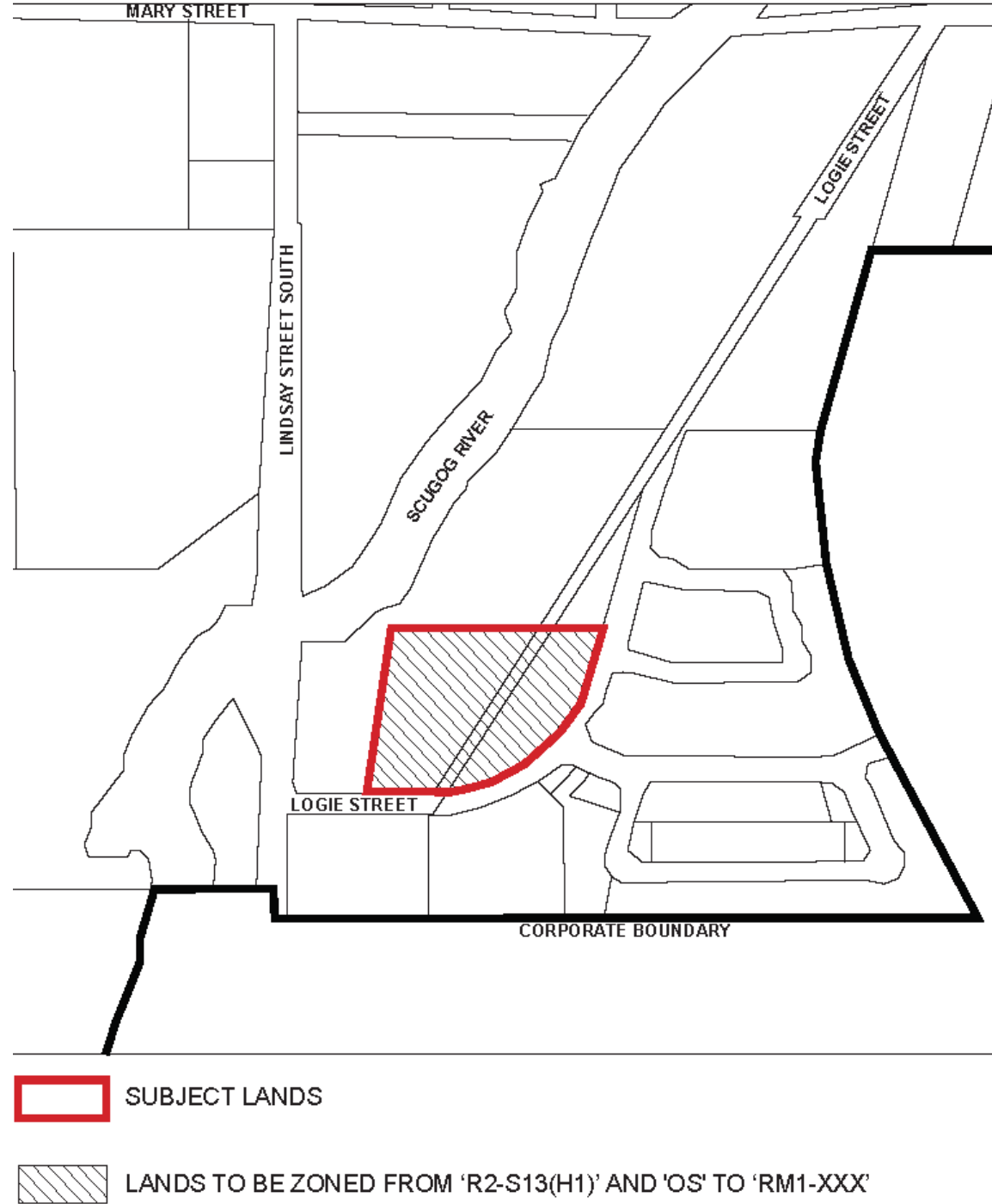
February 10, 2021

PROPOSED ZONING BY-LAW AMENDMENT



**THE CORPORATION OF THE CITY OF
KAWARTHA LAKES**

THIS IS SCHEDULE '1' TO BY-LAW NO. _____
PASSED THIS ____ DAY OF _____, 2020-_____



Site-specific Zoning	
Minimum lot area	160m ²
Minimum lot frontage per dwelling unit	6.0m
Minimum front yard setback	5.5m
Minimum exterior side yard setback abutting a public street	4.0m
The minimum exterior side yard setback to a private street and/or aisle and/or driveway	3m
Minimum interior side yard setback	1.2m
Minimum rear yard setback	6.5m
Maximum building height	10.5m
Maximum lot coverage for all buildings	55%
Subsection 9.2(i) shall not apply.	
Section 5.14(e) shall not apply.	
A water meter room may be erected in any yard provided it is not closer than: <ul style="list-style-type: none"> a. 5.5 m from the front lot line. b. 1.25 m from the rear lot line; c. 1.25 m from the interior side lot line; and d. 4 m from the exterior side lot line 	
The minimum required parking for multiple attached dwellings:	2 spaces per dwelling unit
Minimum required visitor parking spaces	0.25 spaces per dwelling unit
Definition of a Water Meter Room	Added.



331 LOGIE STREET & VACANT LAND ON LOGIE STREET
PART OF LOT 18, CONCESSION 6 and ALL OF BLOCK 74 , 57M-797
TOWN OF LINDSAY

February 10, 2021

CONCEPTUAL SITE PLAN



Site Statistics	
Total Site Area	1.46 ha (3.61 ac)
Total Units Proposed	45 units
Density	30.84 units per hectare
Parking Provided	90 Resident 12 Visitor

- Residential Blocks
- Proposed Private Road
- Visitor Parking
- Garage/Driveway
- Stormwater Management Facility and Open Space Block



331 LOGIE STREET & VACANT LAND ON LOGIE STREET
PART OF LOT 18, CONCESSION 6 and ALL OF BLOCK 74 , 57M-797
TOWN OF LINDSAY

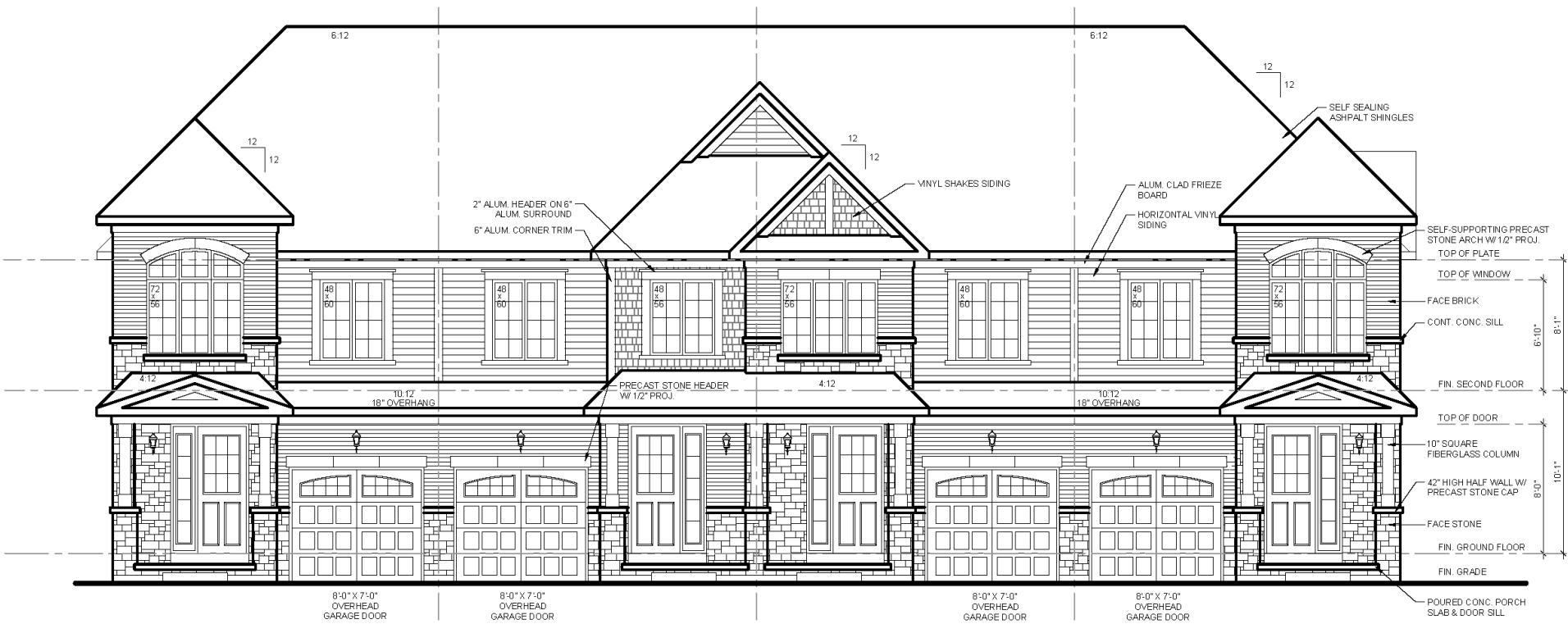
February 10, 2021

CONCEPTUAL BUILDING ELEVATIONS

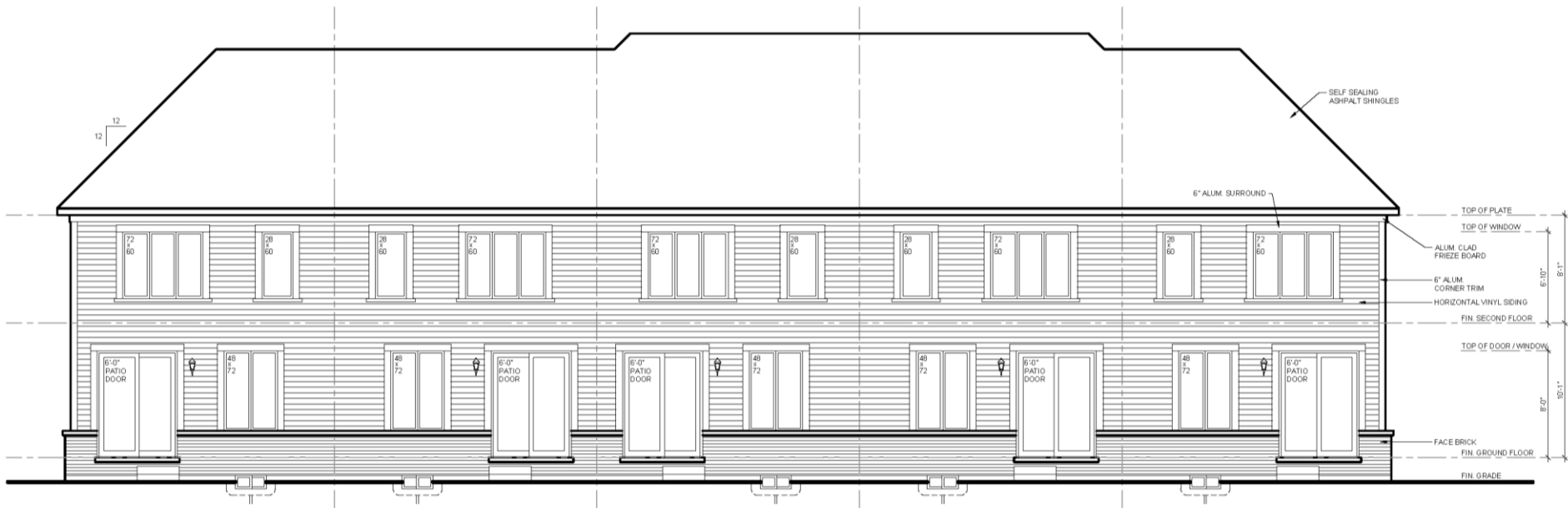
Front Elevation – ‘A’



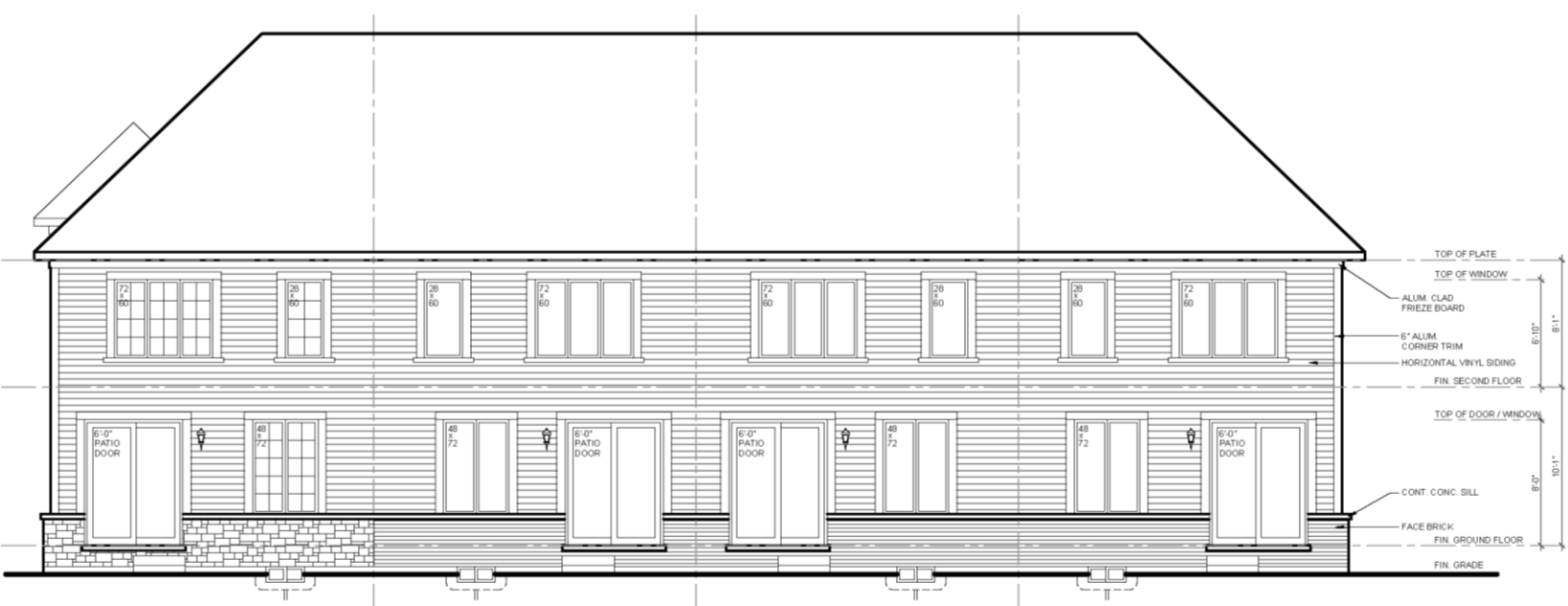
Front Elevation – ‘B’



Rear Elevation – ‘A’

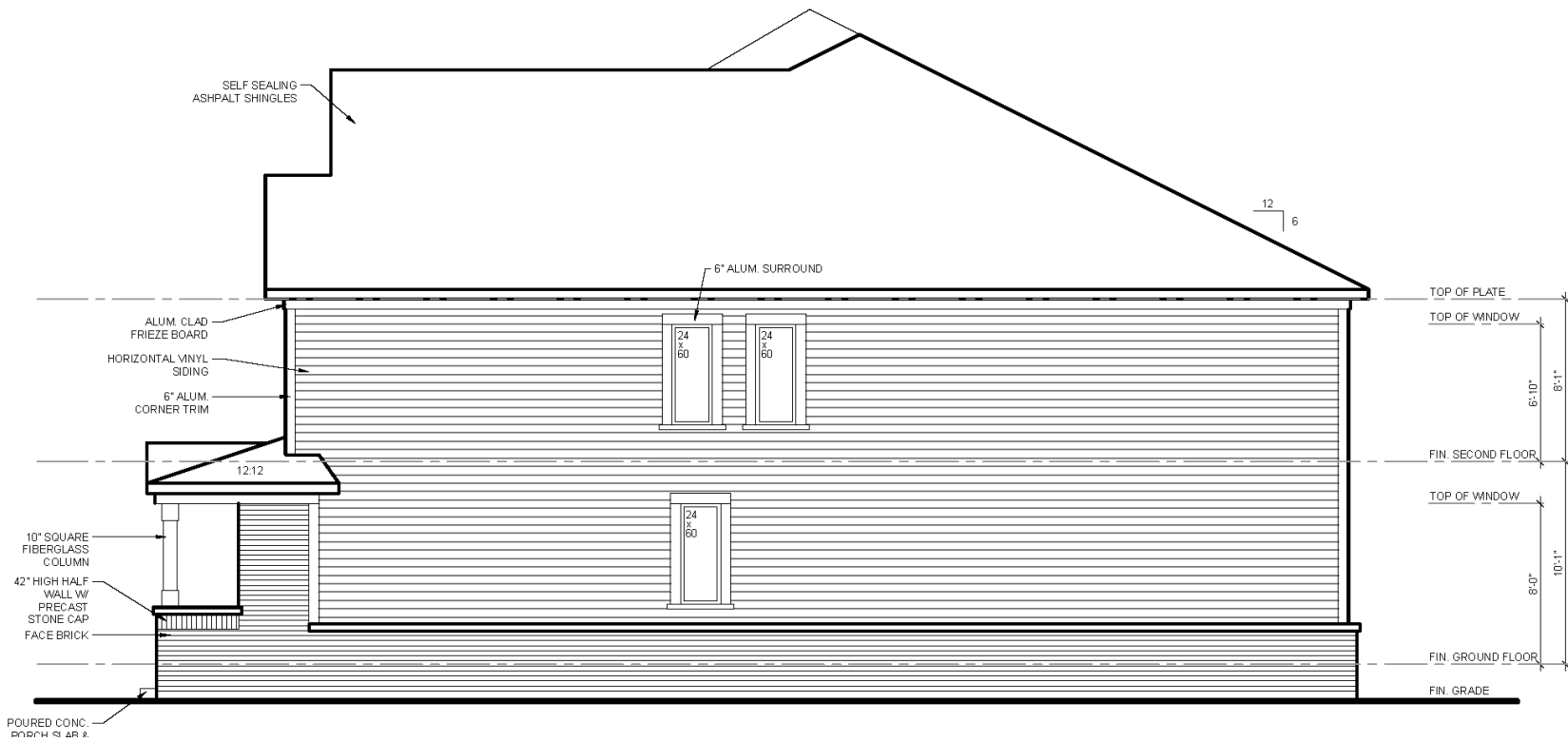


Rear Elevation – ‘B’

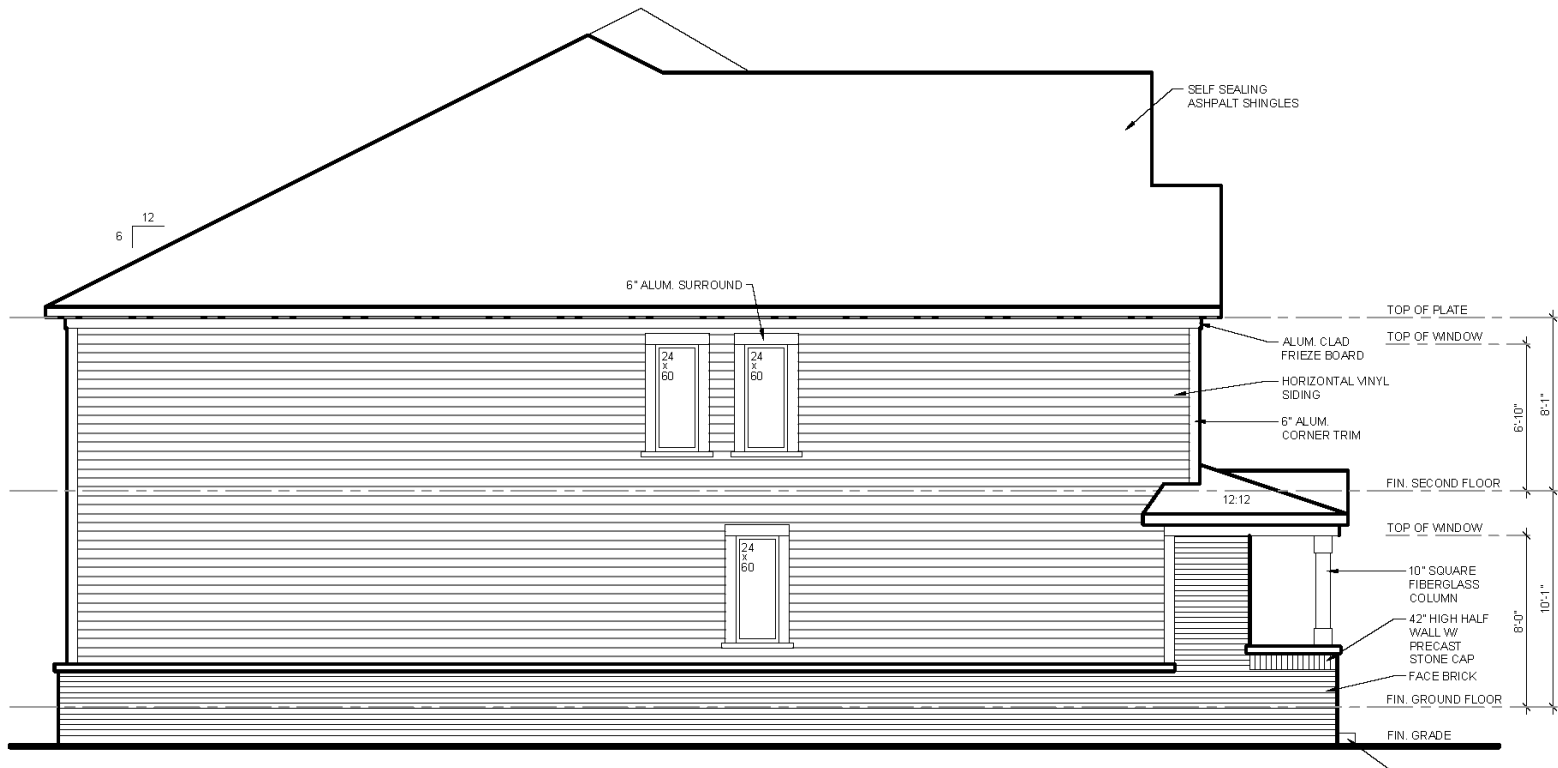


PROPOSED BUILDING ELEVATIONS

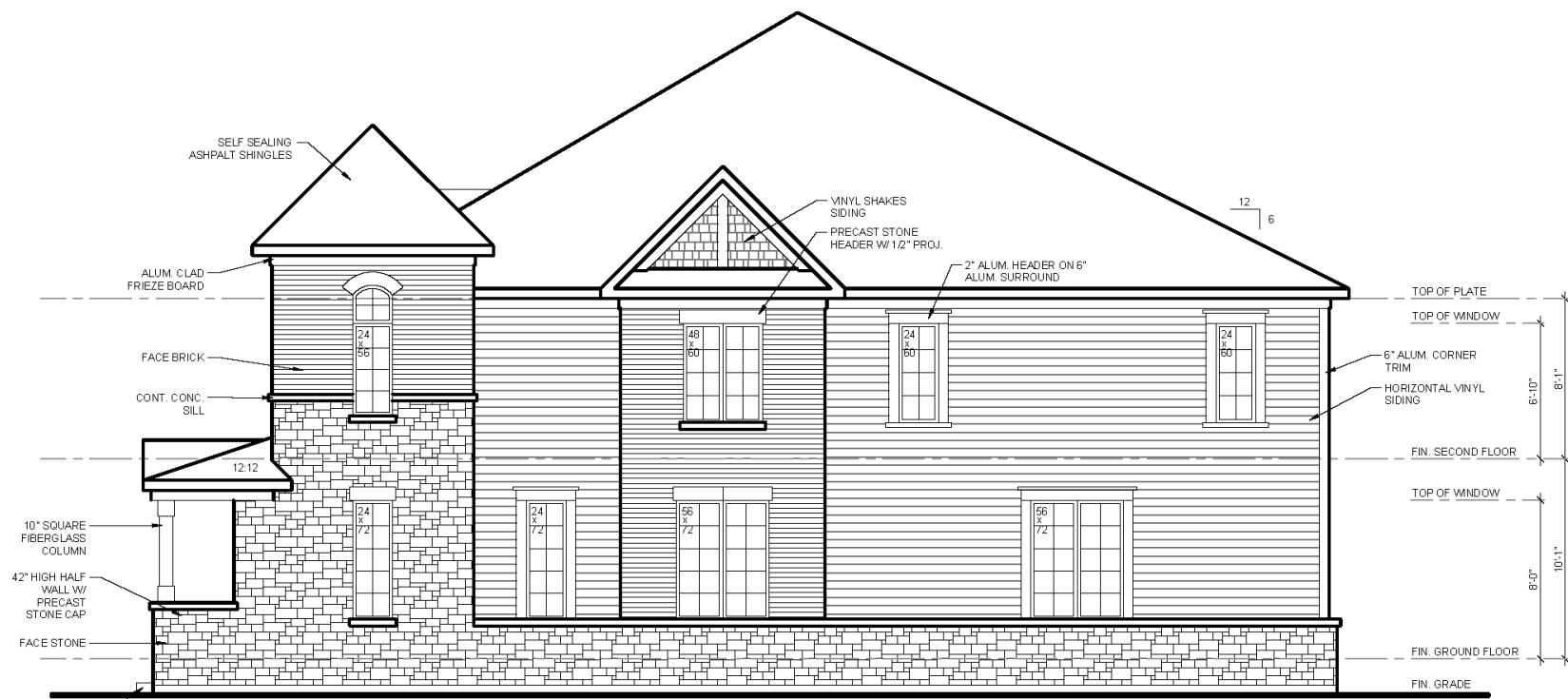
Right Side Elevation – ‘A’



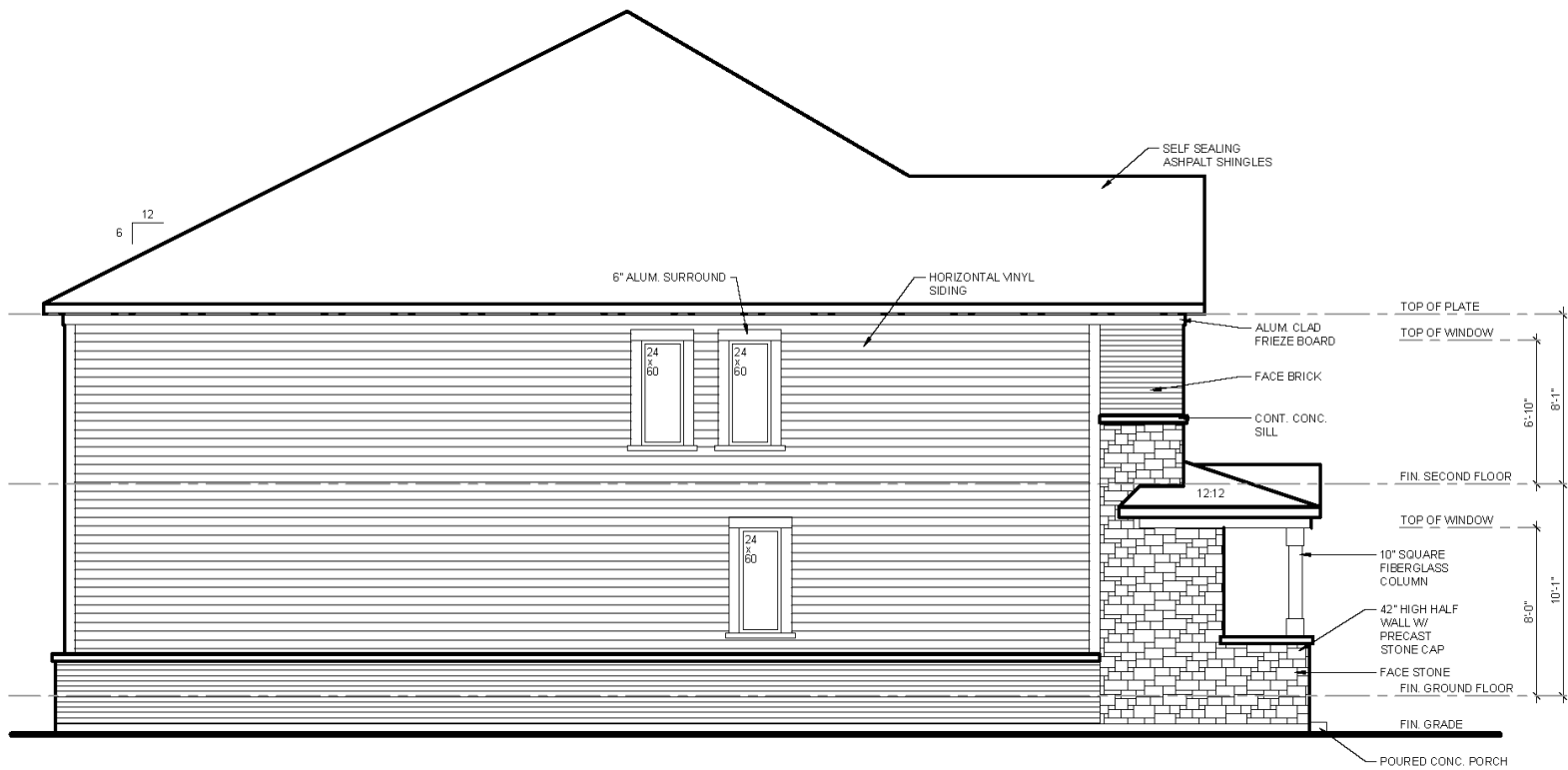
Left Side Elevation – ‘A’



Flankage Side Elevation – ‘B’



Left Side Elevation – ‘B’



SUPPORTING STUDIES COMPLETED

1. Planning Justification Report prepared by KLM Planning Partners Inc.
2. Draft Official Plan and Zoning By-law Amendments prepared by KLM Planning Partners Inc.
3. Proposed Concept Site Plan prepared by Cassidy + Company
4. Conceptual Elevations prepared by Cassidy + Company
5. Urban Design Brief prepared by KLM Planning Partners Inc.
6. Hydrogeological Assessment and Water Balance Report prepared by Grace & Associates Inc.
7. Geotechnical Review of Large Fill Stockpile prepared by AME Materials Engineering
8. Geotechnical Investigation Update prepared by AME Materials Engineering
9. Functional Servicing Report prepared by Engage Engineering Ltd.
10. Stormwater Management Report prepared by Engage Engineering Ltd.
11. Soil Characterization of Stockpiled Fill – East Block prepared by Grace & Associates Inc.
12. Phase 1 Environmental Site Assessment Report prepared by Grace & Associates Inc.
13. Phase 2 Environmental Site Assessment Report prepared by Grace & Associates Inc.
14. Environmental Impact Study prepared by Grace & Associates Inc.
15. Traffic Impact Study prepared by Tranplan Associates Inc.
16. Stage 1 & 2 Archaeological Assessment Report prepared by Earthworks Archaeological Services Inc.
17. Topographic Plan of Survey prepared by Coe Fisher Cameron Land Surveyors
18. Draft Plan of Subdivision prepared by KLM Planning Partners Inc.





Thank You