



# CORONATION HALL EXTERIOR CONSERVATION

01 KING STREET WEST, OMEMEE, ON

BUILDING PERMIT APPLICATION: JANUARY 15, 2025



### ARCHITECTURAL

- PHASE 1:  
 A1.0 - TITLE PAGE, CONTEXT PLAN  
 A1.1 - SOUTH ELEVATION  
 A1.2 - EAST ELEVATION  
 A1.3 - NORTH ELEVATION  
 A1.4 - WEST ELEVATION  
 A1.5 - ROOF & CANOPY DETAILS  
 A1.6 - MASONRY REPAIRS

### 3 DRAWING LIST

A1.0 SCALE: NTS

#### SUMMARY OF WORKS:

- THE WORK SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING:
- MASONRY CONSERVATION, INCLUDING REPOINTING & BRICK REPLACEMENT & CLEANING.
  - WOOD CONSERVATION, WOOD REPAIRS & REPAINTING.
  - METAL REPAIR & PAINTING.
  - STUCCO REPAIRS & PAINTING.
  - CANOPY CAP FLASHING REPLACEMENT.

SEPARATE PRICE 1: REPAIRING OF FOUNDATION BASE WALL.

DRAWINGS ARE NOT TO BE SCALED.  
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
 ©ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
 THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO.	DATE	DESCRIPTION

REVISIONS		
NO.	DATE	DESCRIPTION
1	15 JAN 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION

STAMP

**1 CORONATION HALL**  
A1.0 SCALE: NTS

**2 LOCATION PLAN**  
A1.0 SCALE: NTS

**CONSTRUCTION NOTES:**

**MASONRY CONSERVATION:**

- REPOINT 25%, TYPICAL FOR ALL BRICK MASONRY UNLESS OTHERWISE NOTED.
- REPLACE DAMAGED/DETERIORATED BRICKS DAMAGED, APPROX. 7%.
- PRESSURE WASH ALL BRICK MASONRY.

**WINDOW CONSERVATION:**

- REMOVE EXISTING SEALANT & APPLY NEW BETWEEN ALUMINIUM WINDOW SURROUNDS & MASONRY.
- SEAL ALL ALUMINIUM PANELS AT JOINTS.
- PROVIDE WEEPHOLES IN SEALANT AT BOTTOM JOINTS.
- SEALANT COLOUR TO MATCH ALUMINIUM FRAME.
- REPAINT WINDOW SURROUNDS TO MATCH EXISTING.

**GUTTER & DOWNPIPE REPAIRS:**

- SCRAPE ALL SURFACES TO REMOVE LOOSE PAINT, SAND TO REMOVE.
- PRIME & PAINT ALL METAL SURFACES TO MATCH EXISTING.
- SECURE LOOSE FITTINGS.

**MAIN ROOF REPAIRS:**

- INSPECT HIP ROOF METAL ANGLES FOR SEVERE DETERIORATION. REVIEW CONDITION WITH CONSULTANT.
- SCRAPE & SAND ALL SURFACES TO REMOVE LOOSE PAINT & RUST TO BASE METAL.
- PRIME WITH RUST INHIBITIVE PRIMER & PAINT ALL METAL SURFACES TO MATCH EXISTING.
- UNDERTAKE REPAIRS AS DETERMINED DURING REVIEW. CHANGES TO SCOPE TO BE ADDRESSED BY CHANGE ORDER.

**EAST ADDITION ROOF REPAIRS:**

- CHECK SHEET METAL FOR PAINT DAMAGE.
- ANY AREAS OF REMOVED PAINT TO BE PATCH REPAIRED PRIME & PAINTED.
- UNDERTAKE REPAIRS AS DETERMINED DURING REVIEW. CHANGES TO SCOPE TO BE ADDRESSED BY CHANGE ORDER.

**STUCCO BAND CONSERVATION:**

- SOUND ALL STUCCO SURFACES, REMOVE DELAMINATED PLASTER, SCRAPE, SAND & REMOVE LOOSE PAINT.
- RE-PLASTER REMOVED STUCCO, TEXTURE TO MATCH EXISTING.
- PRIME & PAINT SURFACE.
- ALL SIGNAGE TO BE REPAINTED.

**WOOD CORNICE CONSERVATION:**

- SCRAPE & REMOVE LOOSE PAINT, REMOVE ALL SEALANT, SAND TO REMOVE ANY EDGES WHICH MAY TELEGRAPH UNDER NEW PAINT.
- INFILL ANY CHIPPED OR CRACKED WOOD WITH WOOD FILLER.
- PRIME & PAINT SURFACE.
- INSTALL NEW SEALANT AT STUCCO/WOOD CONNECTION & BETWEEN WOOD JOINTS.
- REVIEW CONDITION WITH CONSULTANT AND IDENTIFY ANY AREAS OF MAJOR REPAIRS.

**REPAINTING OF ROOF WOOD SHINGLES:**

- SAND & REMOVE LOOSE PAINT.
- PRIME & PAINT SURFACE.

ONTARIO BUILDING CODE DATA MATRIX - PART 11 - RENOVATION OF EXISTING BUILDING			
11.1	EXISTING BUILDING CLASSIFICATION	DESCRIBE EXISTING USE: GROUP 1 ALL THEATRE CONSTRUCTION INDEX: --- HAZARD INDEX: --- ■ NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1 11.2.1.1A 11.2.1.1B N/A
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION: ■ EXTENSIVE RENOVATION: □	11.3.3.1 11.3.3.2
11.3	REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL: □ YES ■ NO BY INCREASE IN OCCUPANT LOAD: □ YES ■ NO BY CHANGE IN MAJOR OCCUPANCY: □ YES ■ NO PLUMBING: □ YES ■ NO SEWERAGE SYSTEM: □ YES ■ NO	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	COMPENSATING CONSTRUCTION	STRUCTURAL: ■ NO □ YES (EXPLAIN) INCREASE IN OCCUPANT LOAD: ■ NO □ YES (EXPLAIN) CHANGE OF MAJOR OCCUPANCY: ■ NO □ YES (EXPLAIN) PLUMBING: ■ NO □ YES (EXPLAIN) SEWERAGE SYSTEM: ■ NO □ YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE ALTERNATIVES PROPOSED	■ NO □ YES (GIVE NUMBERS)	11.5.1
11.6	ALTERNATIVE MEASURES PROPOSED	■ NO □ YES (EXPLAIN)	11.5.2

**SBA** Stevens Burgess Architects Ltd.  
 204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417

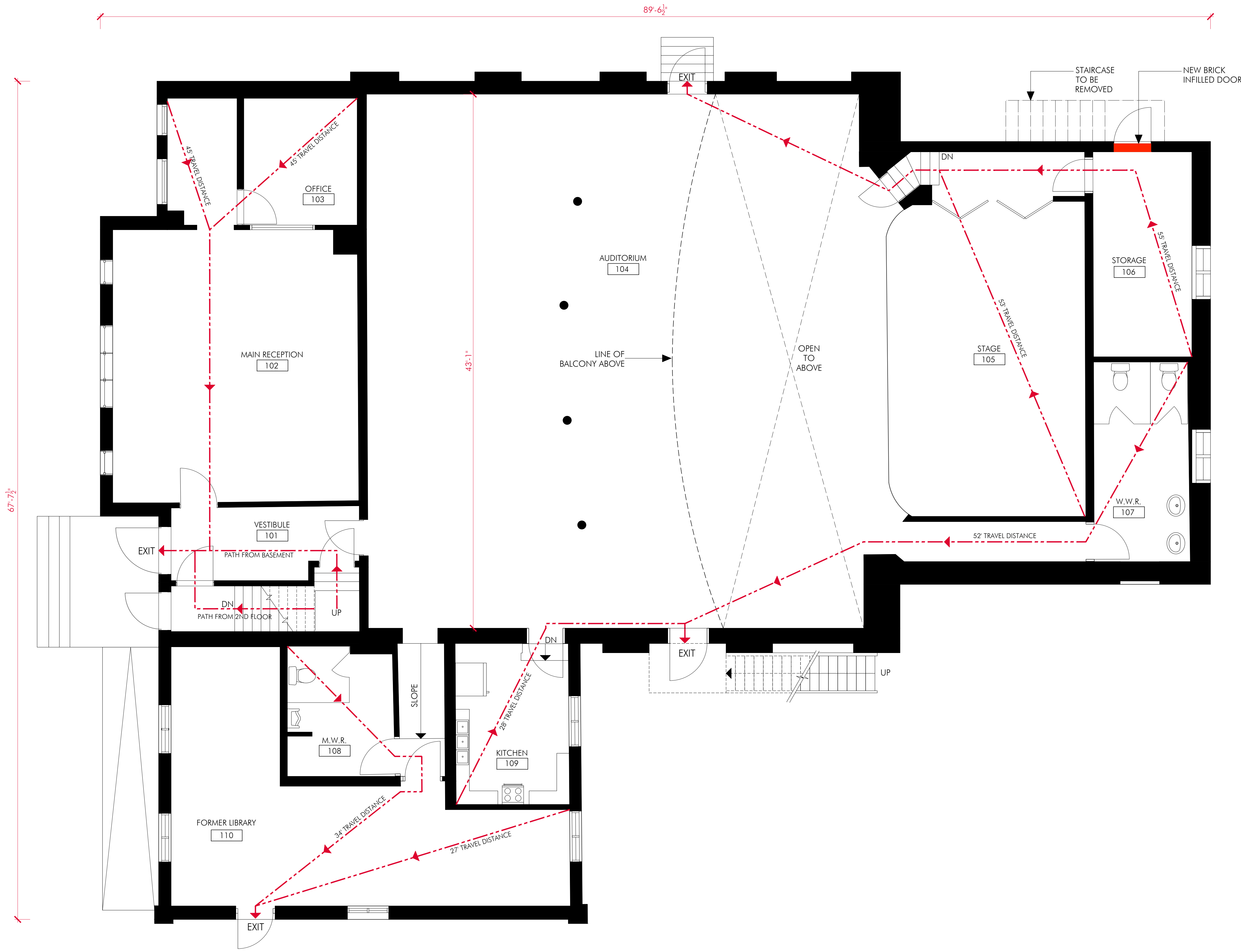
CLIENT:  
**CITY OF KAWARTHA LAKES**  
**26 FRANCIS STREET**  
**LINDSAY, ON K9V 5R8**

PROJECT:  
 CORONATION HALL  
 EXTERIOR CONSERVATION  
 01 KING STREET WEST, OMEMEE, ON

PROJECT NO.:  
**24012**

DRAWING TITLE:  
**TITLE PAGE & LOCATION PLAN**

SCALE: AS NOTED	DATE: JAN 2025	REVISED:	SHEET NO.:
FILE NO.:	APPROVED BY:	DRAWN BY:	<b>A1.0</b>
A24012	SK	AP	



LEGEND:  
 - - - - - EGRESS ROUTE

DRAWINGS ARE NOT TO BE SCALED.  
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
 © ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
 THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
<b>REVISIONS</b>		
<b>ISSUE</b>		
1	15 JAN. 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION	STAMP

**SBA** Stevens Burgess Architects Ltd.  
 204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417

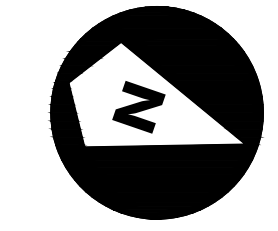
CLIENT:  
**CITY OF KAWARTHA LAKES  
 26 FRANCIS STREET  
 LINDSAY, ON K9V 5R8**

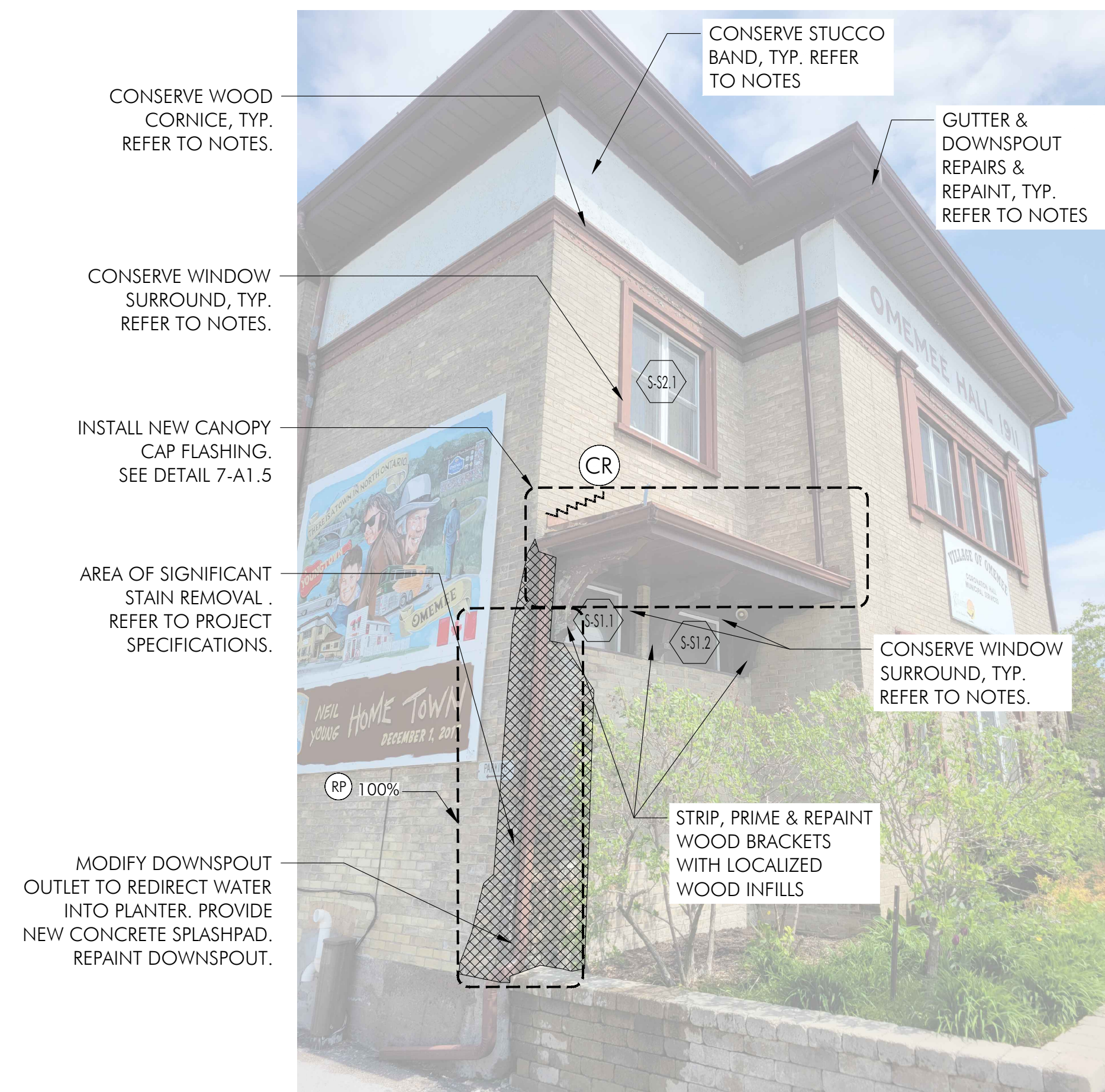
PROJECT:  
 CORONATION HALL  
 EXTERIOR CONSERVATION  
 01 KING STREET WEST, OMEMEE, ON

PROJECT NO.:  
 24012

DRAWING TITLE:  
**GROUND FLOOR PLAN**

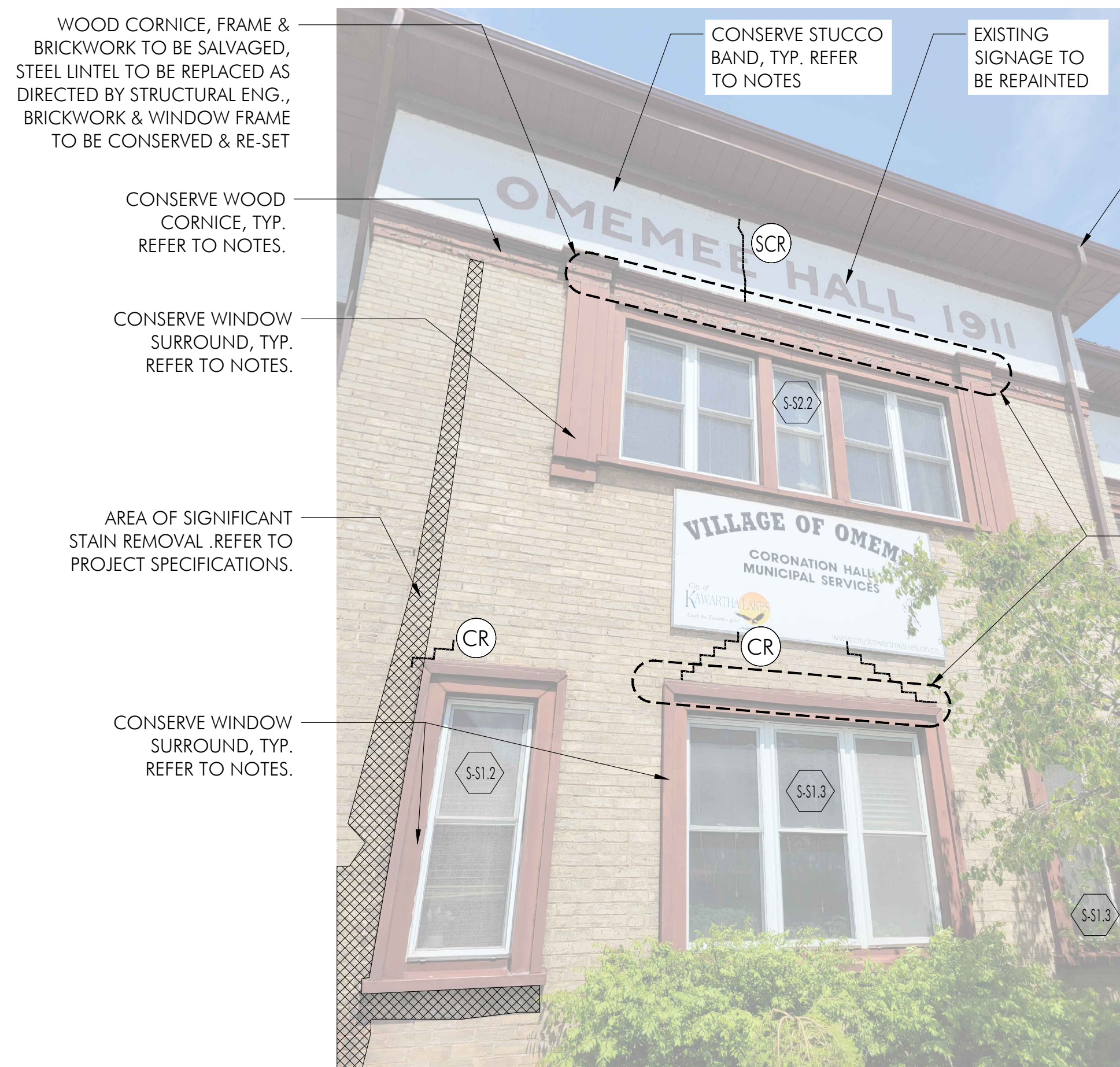
SCALE: AS NOTED	DATE: JAN 2025	REVISED:	SHEET NO.:
FILE NO.: A24012	APPROVED BY: SK	DRAWN BY: AP	<b>A1.1</b>





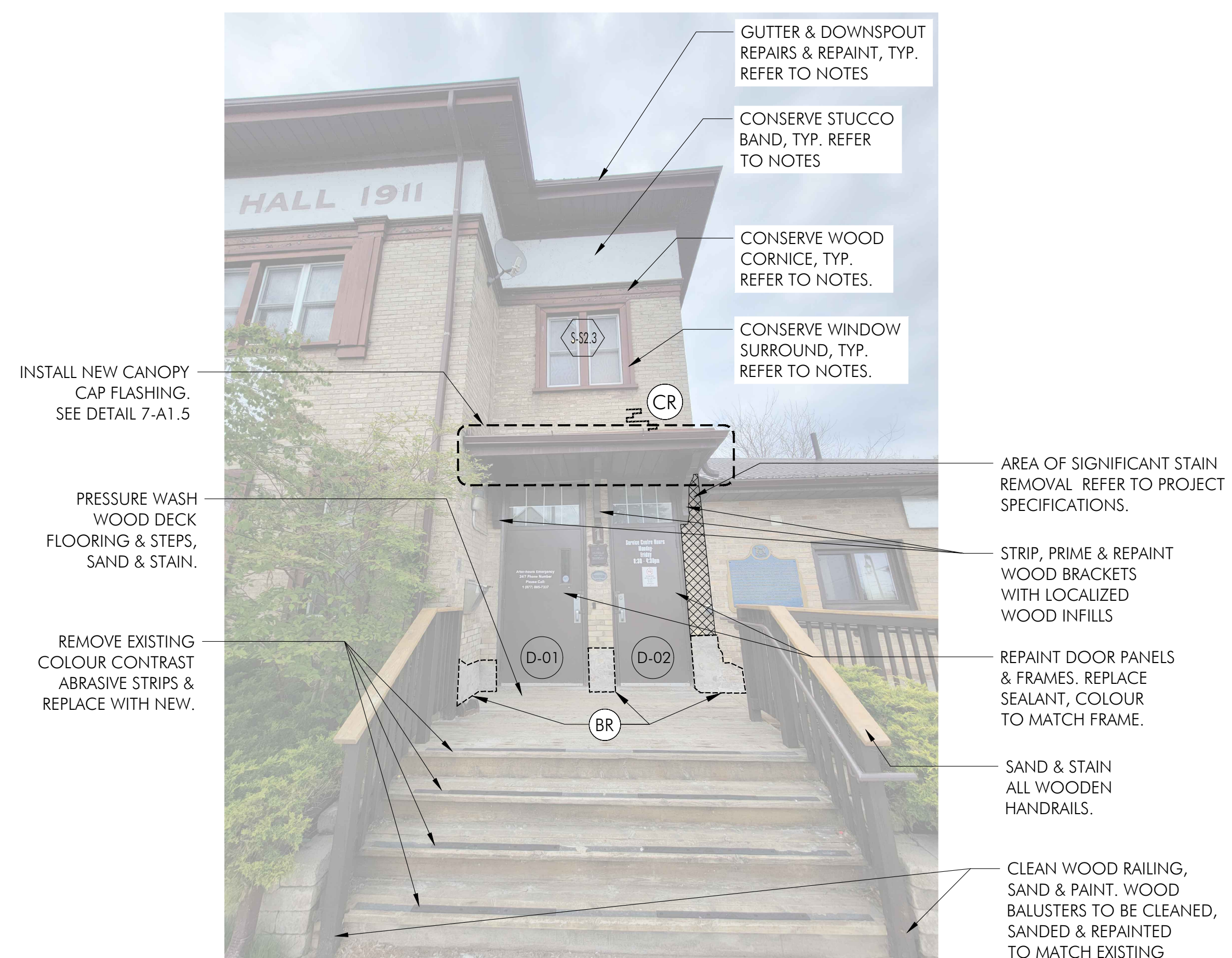
- CONSERVE WOOD CORNICE, TYP. REFER TO NOTES.
- CONSERVE STUCCO BAND, TYP. REFER TO NOTES
- GUTTER & DOWNSPOUT REPAIRS & REPAIRS, TYP. REFER TO NOTES
- CONSERVE WINDOW SURROUND, TYP. REFER TO NOTES.
- INSTALL NEW CANOPY CAP FLASHING. SEE DETAIL 7-A1.5
- AREA OF SIGNIFICANT STAIN REMOVAL. REFER TO PROJECT SPECIFICATIONS.
- CONSERVE WINDOW SURROUND, TYP. REFER TO NOTES.
- MODIFY DOWNSPOUT OUTLET TO REDIRECT WATER INTO PLANTER. PROVIDE NEW CONCRETE SPLASHPAD. REPAIR DOWNSPOUT.
- STRIP, PRIME & REPAIR WOOD BRACKETS WITH LOCALIZED WOOD INFILLS

**1 SOUTH ELEVATION 1**  
A1.0 NTS



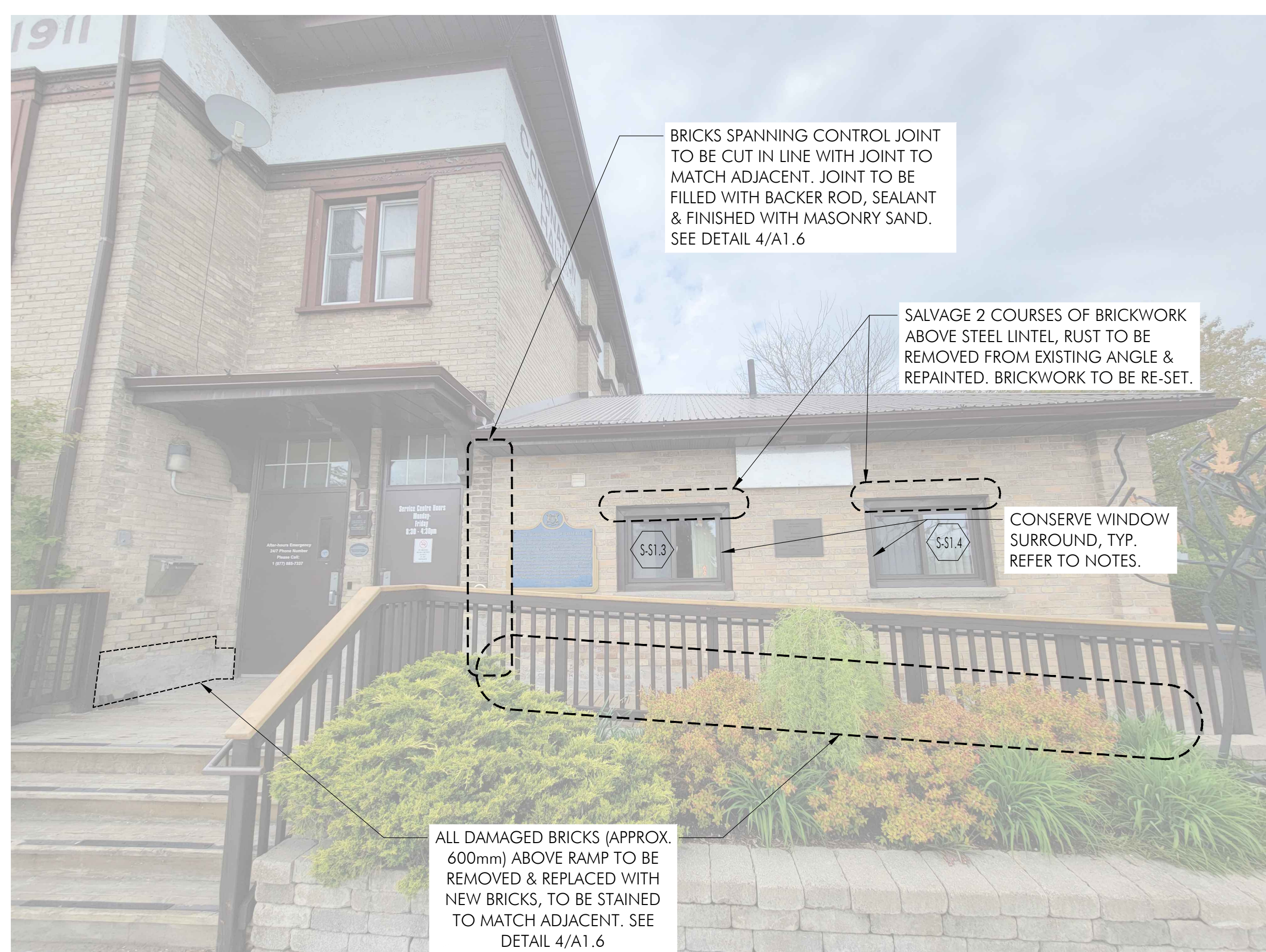
- WOOD CORNICE, FRAME & BRICKWORK TO BE SALVAGED, STEEL LINTEL TO BE REPLACED AS DIRECTED BY STRUCTURAL ENG., BRICKWORK & WINDOW FRAME TO BE CONSERVED & RE-SET
- CONSERVE STUCCO BAND, TYP. REFER TO NOTES
- EXISTING SIGNAGE TO BE REPAINTED
- CONSERVE WOOD CORNICE, TYP. REFER TO NOTES.
- CONSERVE WINDOW SURROUND, TYP. REFER TO NOTES.
- AREA OF SIGNIFICANT STAIN REMOVAL. REFER TO PROJECT SPECIFICATIONS.
- CONSERVE WINDOW SURROUND, TYP. REFER TO NOTES.
- REVIEW STEEL LINTEL CONDITION WITH CONSULTANT & STRUCTURAL ENGINEER. REPLACE/REPAIR/MODIFY AS DIRECTED. COST OF WORK TO FALL UNDER ALLOCATED CASH ALLOWANCE.

**2 SOUTH ELEVATION 2**  
A1.0 NTS



- GUTTER & DOWNSPOUT REPAIRS & REPAIRS, TYP. REFER TO NOTES
- CONSERVE STUCCO BAND, TYP. REFER TO NOTES
- CONSERVE WOOD CORNICE, TYP. REFER TO NOTES.
- CONSERVE WINDOW SURROUND, TYP. REFER TO NOTES.
- INSTALL NEW CANOPY CAP FLASHING. SEE DETAIL 7-A1.5
- PRESSURE WASH WOOD DECK FLOORING & STEPS, SAND & STAIN.
- REMOVE EXISTING COLOUR CONTRAST ABRASIVE STRIPS & REPLACE WITH NEW.
- AREA OF SIGNIFICANT STAIN REMOVAL. REFER TO PROJECT SPECIFICATIONS.
- STRIP, PRIME & REPAIR WOOD BRACKETS WITH LOCALIZED WOOD INFILLS
- REPAINT DOOR PANELS & FRAMES. REPLACE SEALANT, COLOUR TO MATCH FRAME.
- SAND & STAIN ALL WOODEN HANDRAILS.
- CLEAN WOOD RAILING, SAND & PAINT. WOOD BALUSTERS TO BE CLEANED, SANDED & REPAINTED TO MATCH EXISTING

**3 SOUTH ELEVATION 3**  
A1.0 NTS



- BRICKS SPANNING CONTROL JOINT TO BE CUT IN LINE WITH JOINT TO MATCH ADJACENT. JOINT TO BE FILLED WITH BACKER ROD, SEALANT & FINISHED WITH MASONRY SAND. SEE DETAIL 4/A1.6
- SALVAGE 2 COURSES OF BRICKWORK ABOVE STEEL LINTEL, RUST TO BE REMOVED FROM EXISTING ANGLE & REPAINTED. BRICKWORK TO BE RE-SET.
- CONSERVE WINDOW SURROUND, TYP. REFER TO NOTES.
- ALL DAMAGED BRICKS (APPROX. 600mm) ABOVE RAMP TO BE REMOVED & REPLACED WITH NEW BRICKS, TO BE STAINED TO MATCH ADJACENT. SEE DETAIL 4/A1.6

**4 SOUTH ELEVATION 4**  
A1.0 NTS



REFERENCE ELEVATION

LEGEND:

- AREA OF SIGNIFICANT STAIN REMOVAL
- AREA OF GRAFFITI CLEANING
- AREA OF REPAIRING - SEPARATE PRICE I
- AREA OF PARGING REMOVAL
- OPEN MASONRY JOINTS - REPOINT
- MASONRY CRACK REPAIR - STABILIZE & REPOINT
- STUCCO CRACK REPAIR - RAKE OUT CRACK & PLASTER
- CONCRETE CRACK REPAIR - APPLY CONCRETE CRACK FILLER
- BRICK REPLACEMENT
- SEALANT REPLACEMENT
- REPOINTING

DRAWINGS ARE NOT TO BE SCALED.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
© ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
<b>REVISIONS</b>		
<b>ISSUE</b>		
NO.	DATE	DESCRIPTION
1	15 JAN. 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION

STAMP

**SBA** Stevens Burgess Architects Ltd.  
204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417

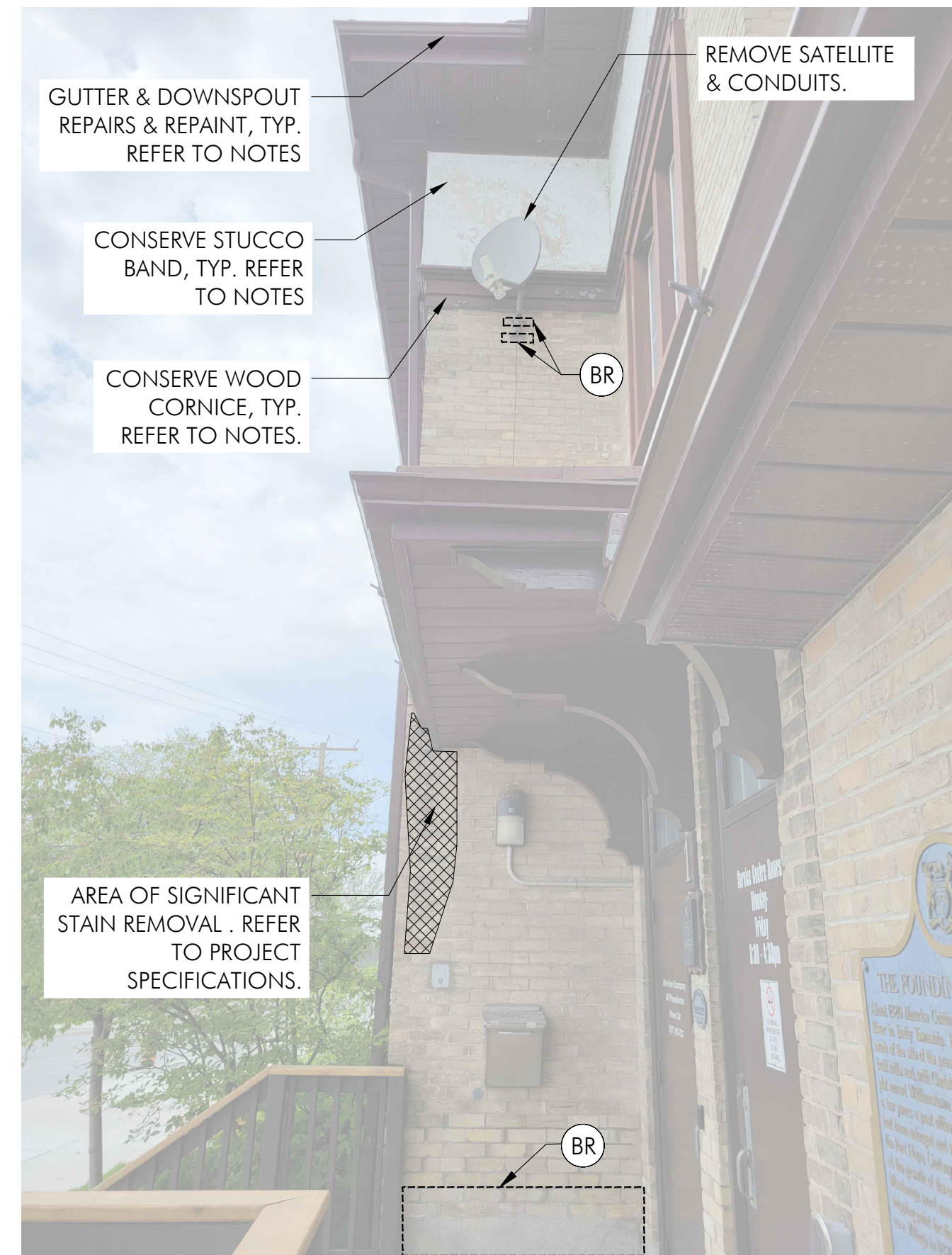
CLIENT:  
**CITY OF KAWARTHA LAKES**  
**26 FRANCIS STREET**  
**LINDSAY, ON K9V 5R8**

PROJECT:  
CORONATION HALL  
EXTERIOR CONSERVATION  
01 KING STREET WEST OMEMEE, ON

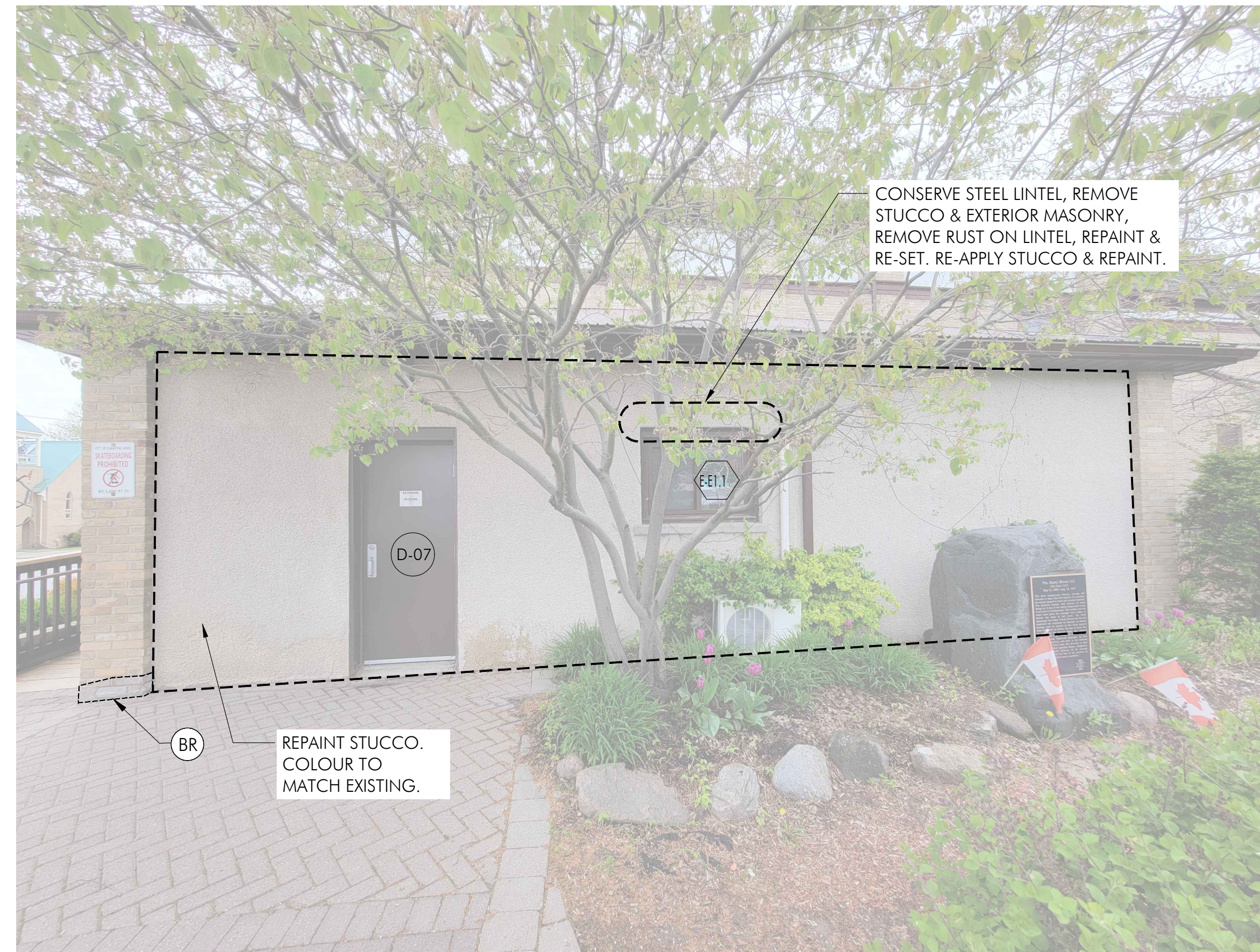
PROJECT NO.:  
24012

DRAWING TITLE:  
**SOUTH ELEVATION**

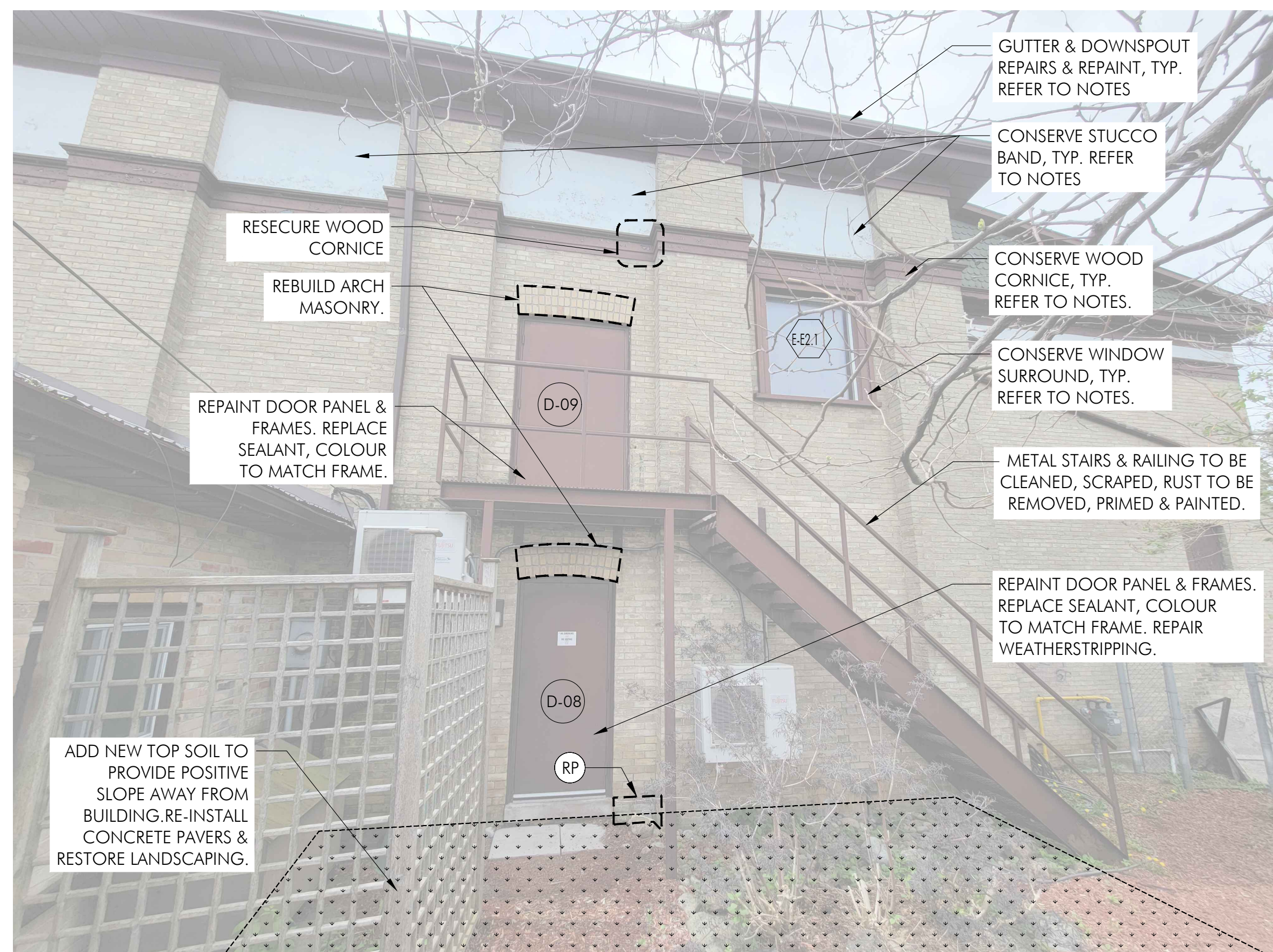
SCALE:	DATE:	REVISED:	SHEET NO.:
AS NOTED	JAN 2025		<b>A1.2</b>
FILE NO. A24012	APPROVED BY: SK	DRAWN BY: AP	



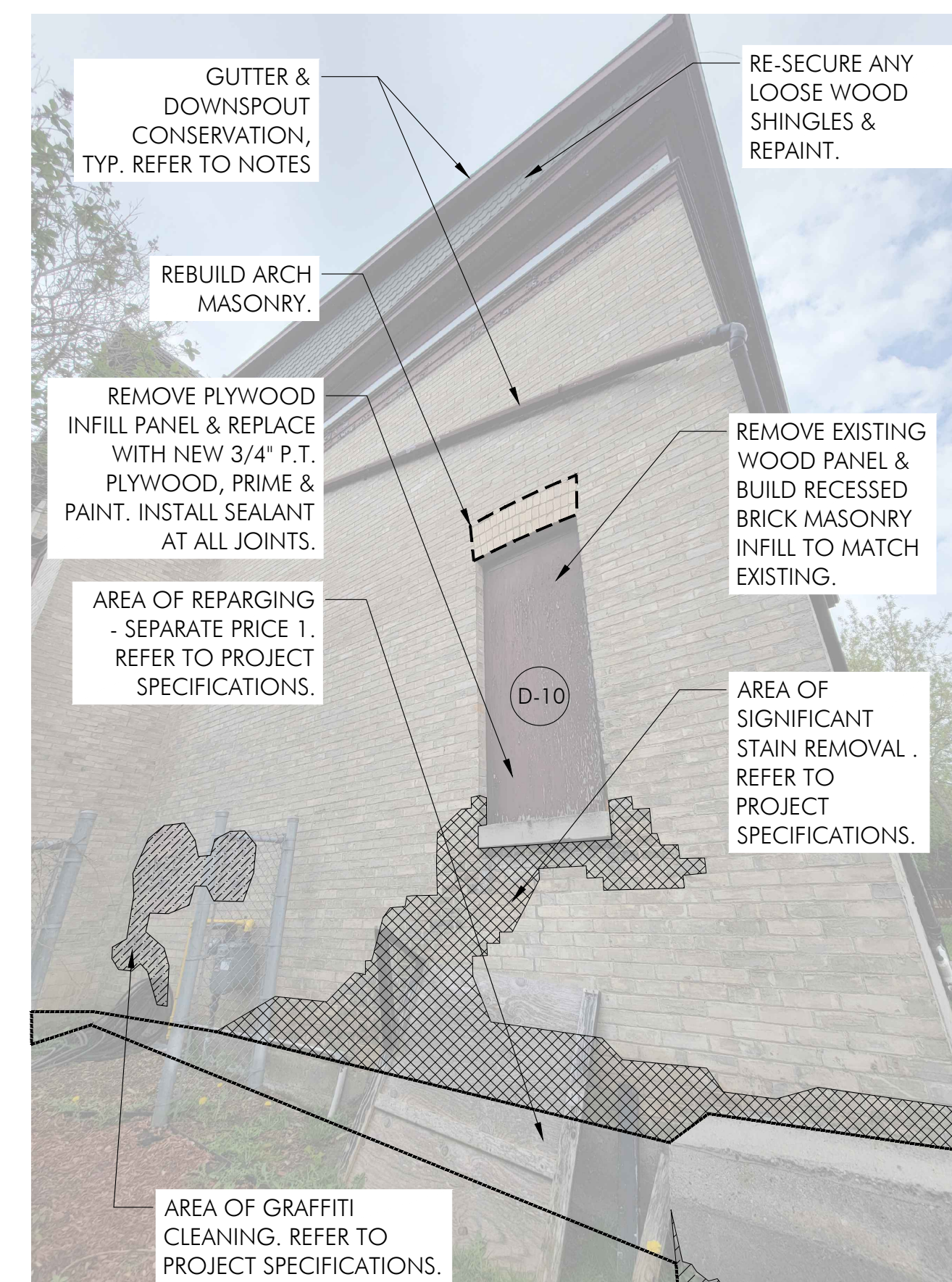
**1 EAST ELEVATION 1**  
A1.2 NTS



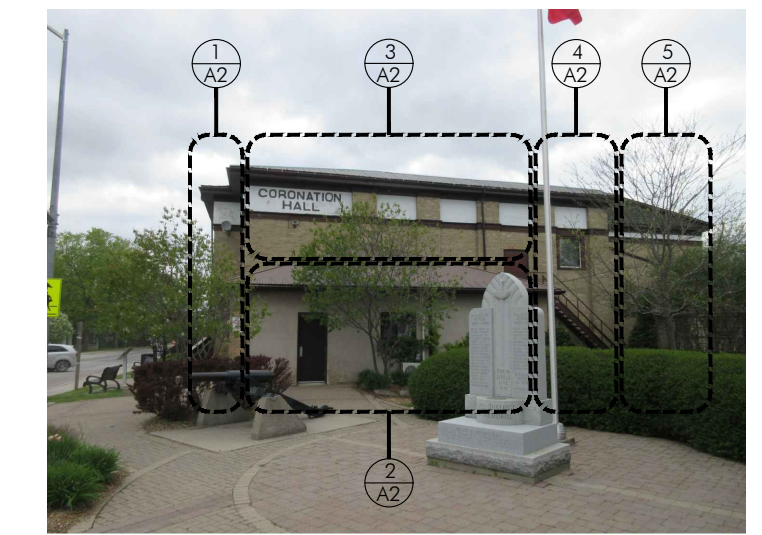
**3 EAST ELEVATION 3**  
A1.2 NTS



**2 EAST ELEVATION 2**  
A1.2 NTS



**4 EAST ELEVATION 4**  
A1.2 NTS



REFERENCE ELEVATION

LEGEND:

- AREA OF SIGNIFICANT STAIN REMOVAL
- AREA OF GRAFFITI CLEANING
- AREA OF REPARING - SEPARATE PRICE 1
- AREA OF PARING REMOVAL
- OPEN MASONRY JOINTS - REPOINT
- MASONRY CRACK REPAIR - STABILIZE & REPOINT
- STUCCO CRACK REPAIR - RAKE OUT CRACK & PLASTER
- CONCRETE CRACK REPAIR - APPLY CONCRETE CRACK FILLER
- BRICK REPLACEMENT
- SEALANT REPLACEMENT
- REPOINTING

DRAWINGS ARE NOT TO BE SCALED.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
© ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
<b>REVISIONS</b>		
<b>ISSUE</b>		
NO.	DATE	DESCRIPTION
1	15 JAN 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION

STAMP

**SBA** Stevens Burgess Architects Ltd.  
204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417

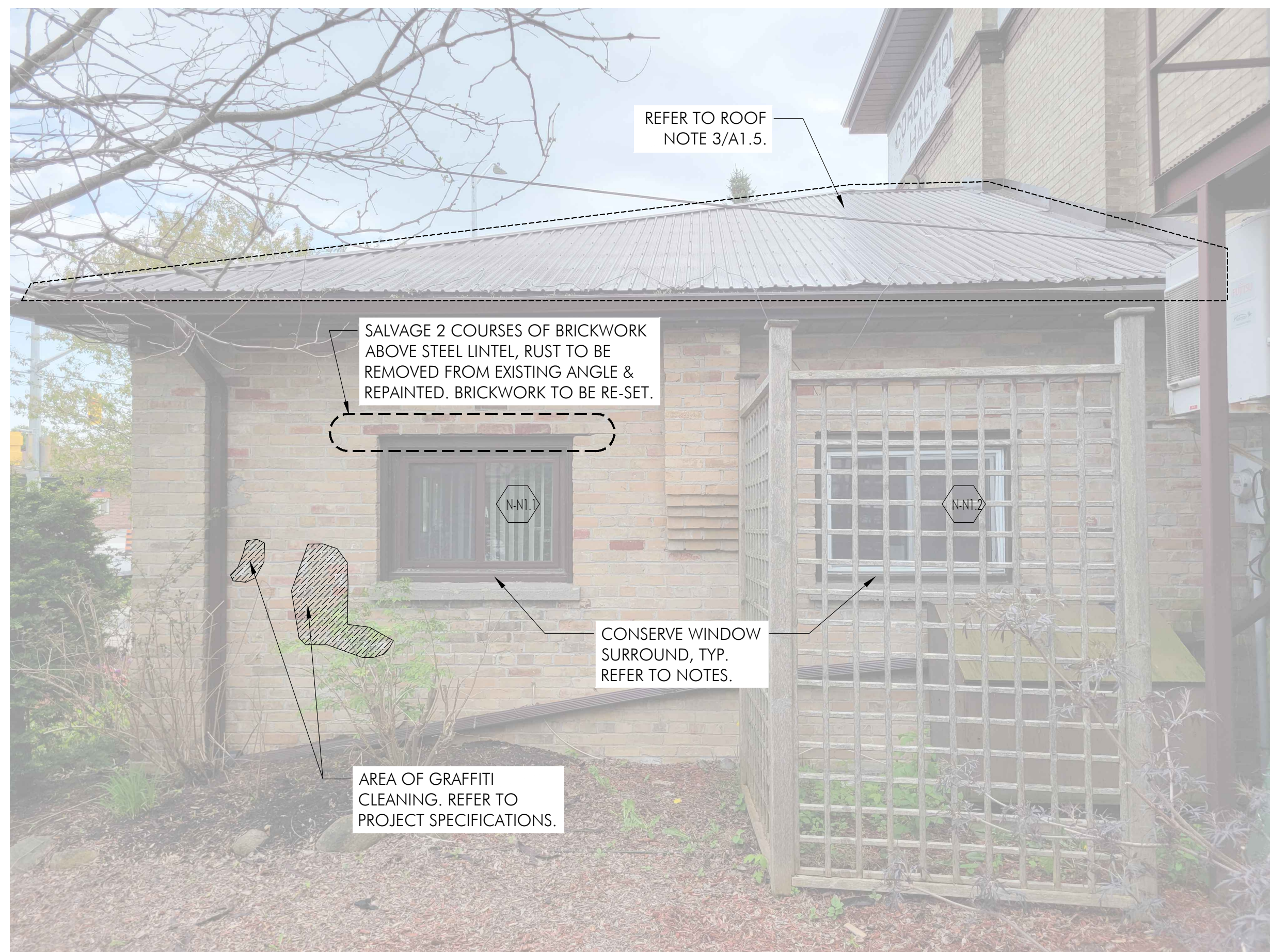
CLIENT:  
**CITY OF KAWARTHA LAKES**  
**26 FRANCIS STREET**  
**LINDSAY, ON K9V 5R8**

PROJECT:  
CORONATION HALL  
EXTERIOR CONSERVATION  
01 KING STREET WEST OMEMEE, ON

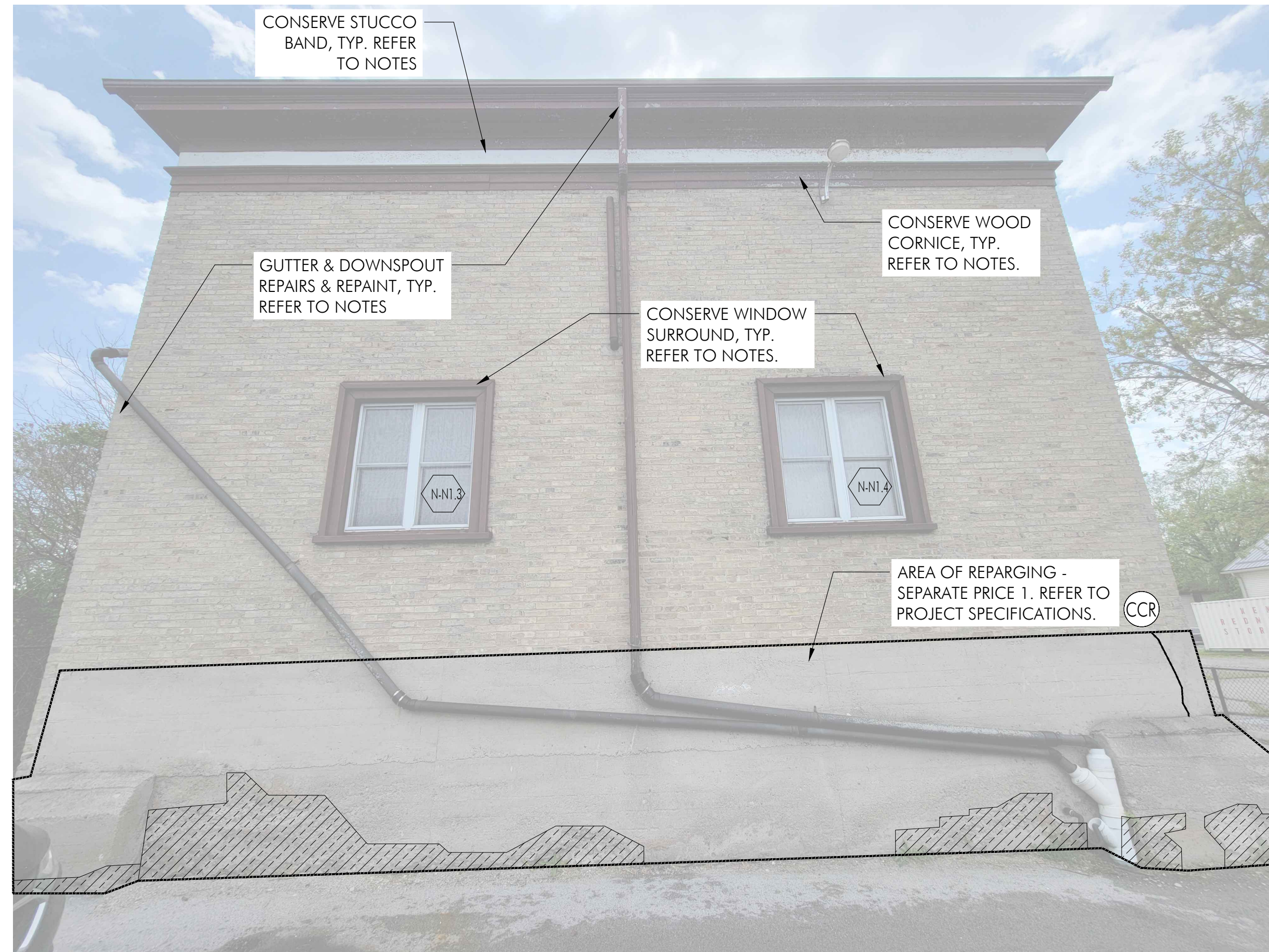
PROJECT NO.:  
24012

DRAWING TITLE:  
**EAST ELEVATION**

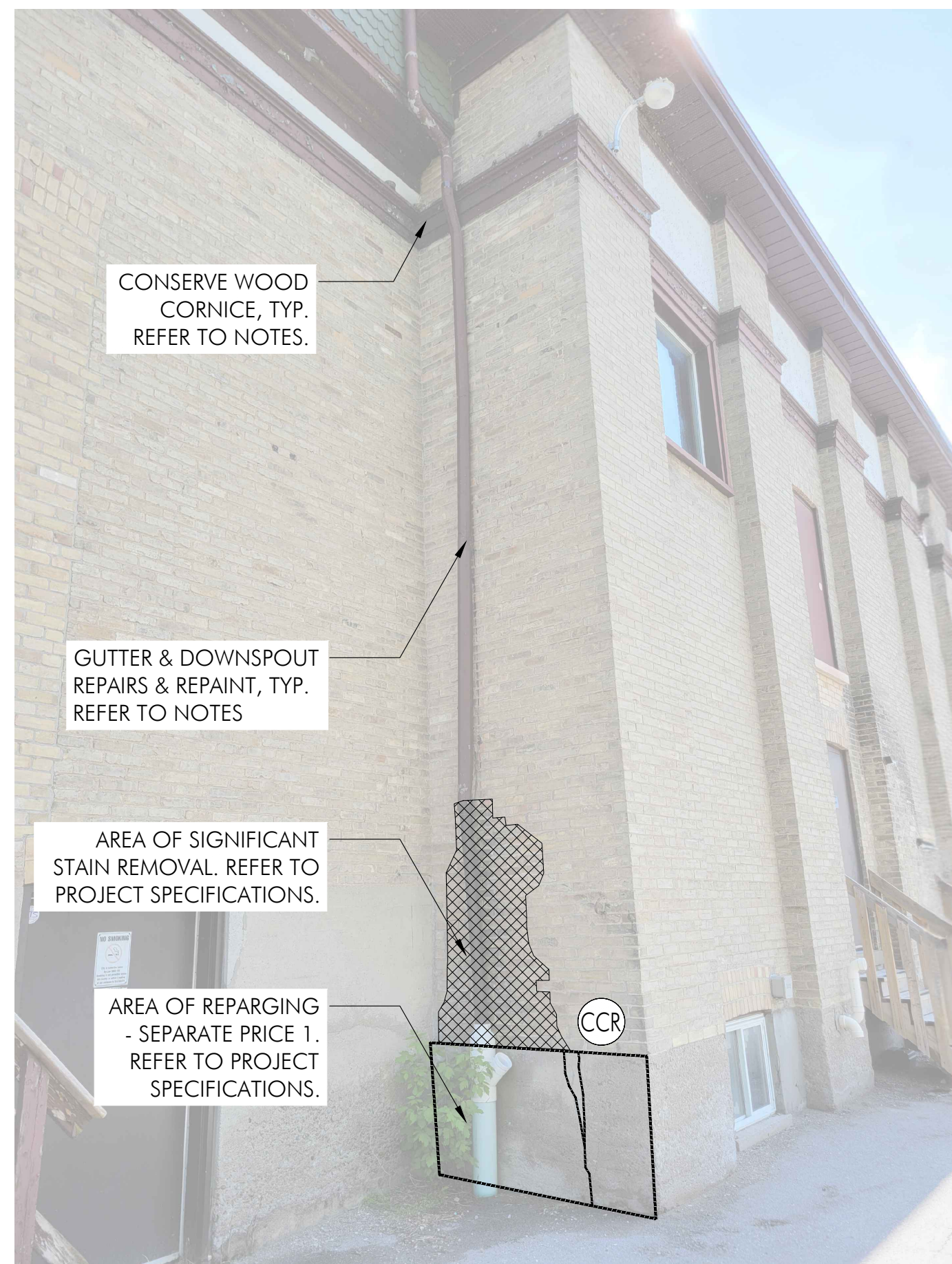
SCALE:	DATE:	REVISED:	SHEET NO.:
AS NOTED	JAN 2025		<b>A1.3</b>
FILE NO.: A24012	APPROVED BY: SK	DRAWN BY: AP	



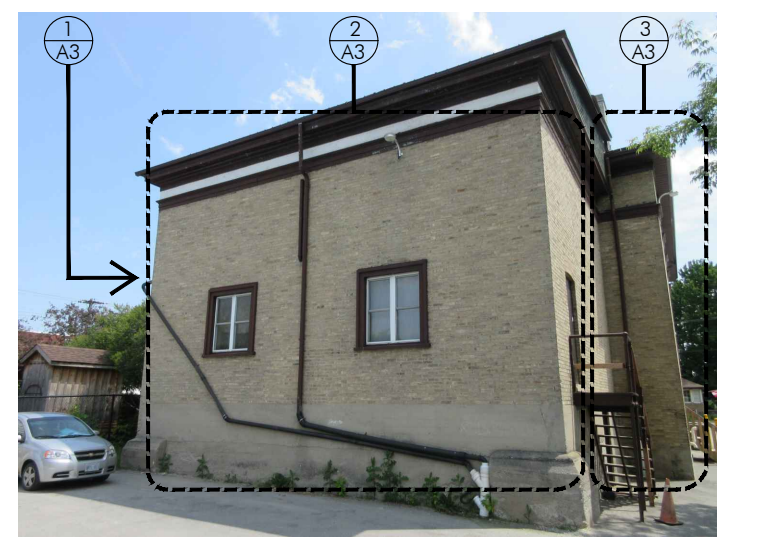
**1 NORTH ELEVATION 1**  
A1.3 NTS



**2 NORTH ELEVATION 2**  
A1.3 NTS



**3 NORTH ELEVATION 3**  
A1.3 NTS



REFERENCE ELEVATION

LEGEND:

- AREA OF SIGNIFICANT STAIN REMOVAL
- AREA OF GRAFFITI CLEANING
- AREA OF REPARING - SEPARATE PRICE 1
- AREA OF REPARING REMOVAL
- OPEN MASONRY JOINTS - REPOINT
- MASONRY CRACK REPAIR - STABILIZE & REPOINT
- STUCCO CRACK REPAIR - RAKE OUT CRACK & PLASTER
- CONCRETE CRACK REPAIR - APPLY CONCRETE CRACK FILLER
- BRICK REPLACEMENT
- SEALANT REPLACEMENT
- REPOINTING

DRAWINGS ARE NOT TO BE SCALED.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
© ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO.	DATE	DESCRIPTION

**REVISIONS**

**ISSUE**

NO.	DATE	DESCRIPTION
1	15 JAN. 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION	STAMP

**SBA** Stevens Burgess Architects Ltd.  
204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417

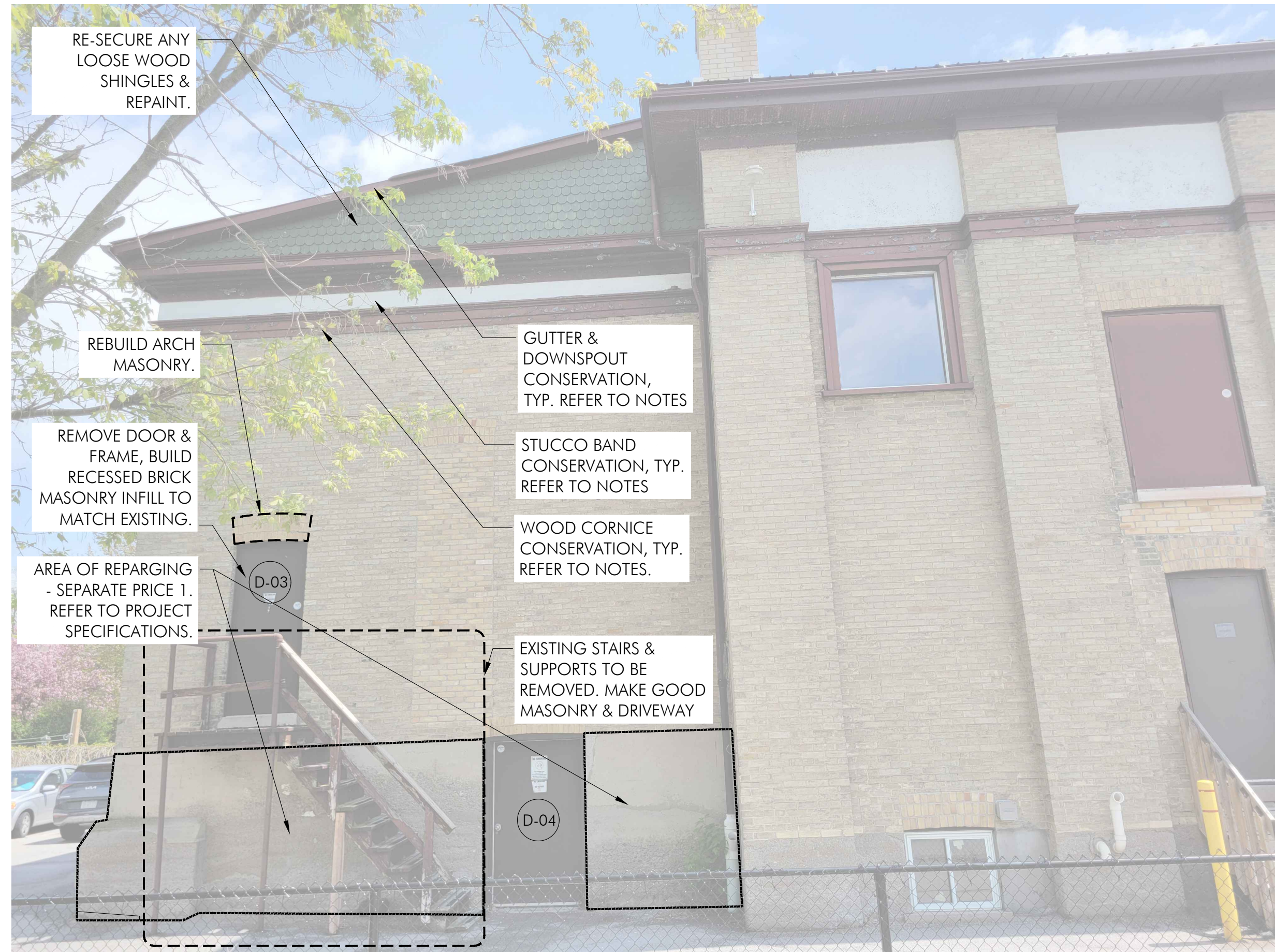
CLIENT:  
**CITY OF KAWARTHA LAKES**  
**26 FRANCIS STREET**  
**LINDSAY, ON K9V 5R8**

PROJECT:  
CORONATION HALL  
EXTERIOR CONSERVATION  
01 KING STREET WEST OMEMEE, ON

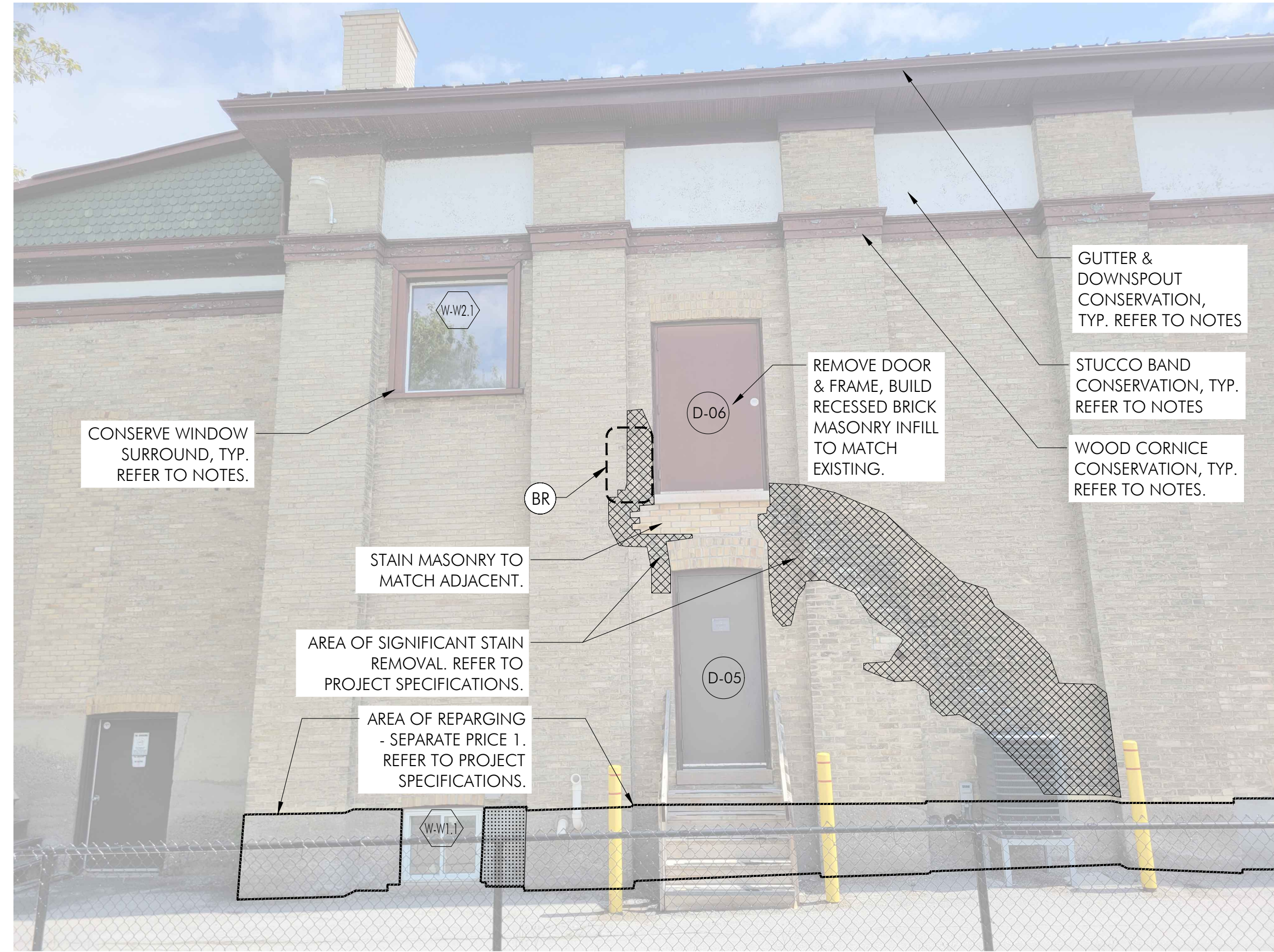
PROJECT NO.:  
**24012**

DRAWING TITLE:  
**NORTH ELEVATION**

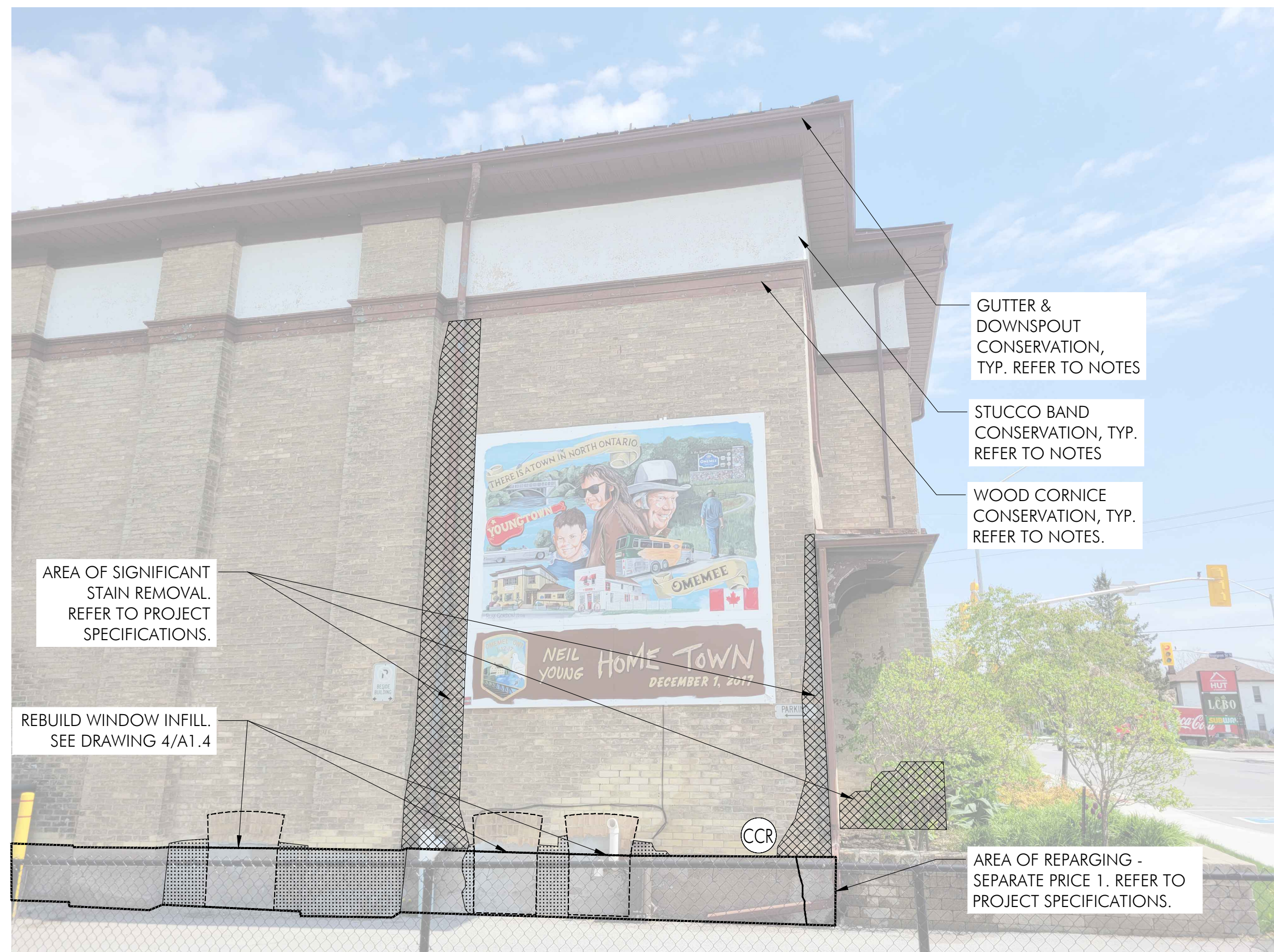
SCALE: AS NOTED	DATE: JAN 2025	REVISED:	SHEET NO.:
FILE NO.:	APPROVED BY:	DRAWN BY:	<b>A1.4</b>
A24012	SK	AP	



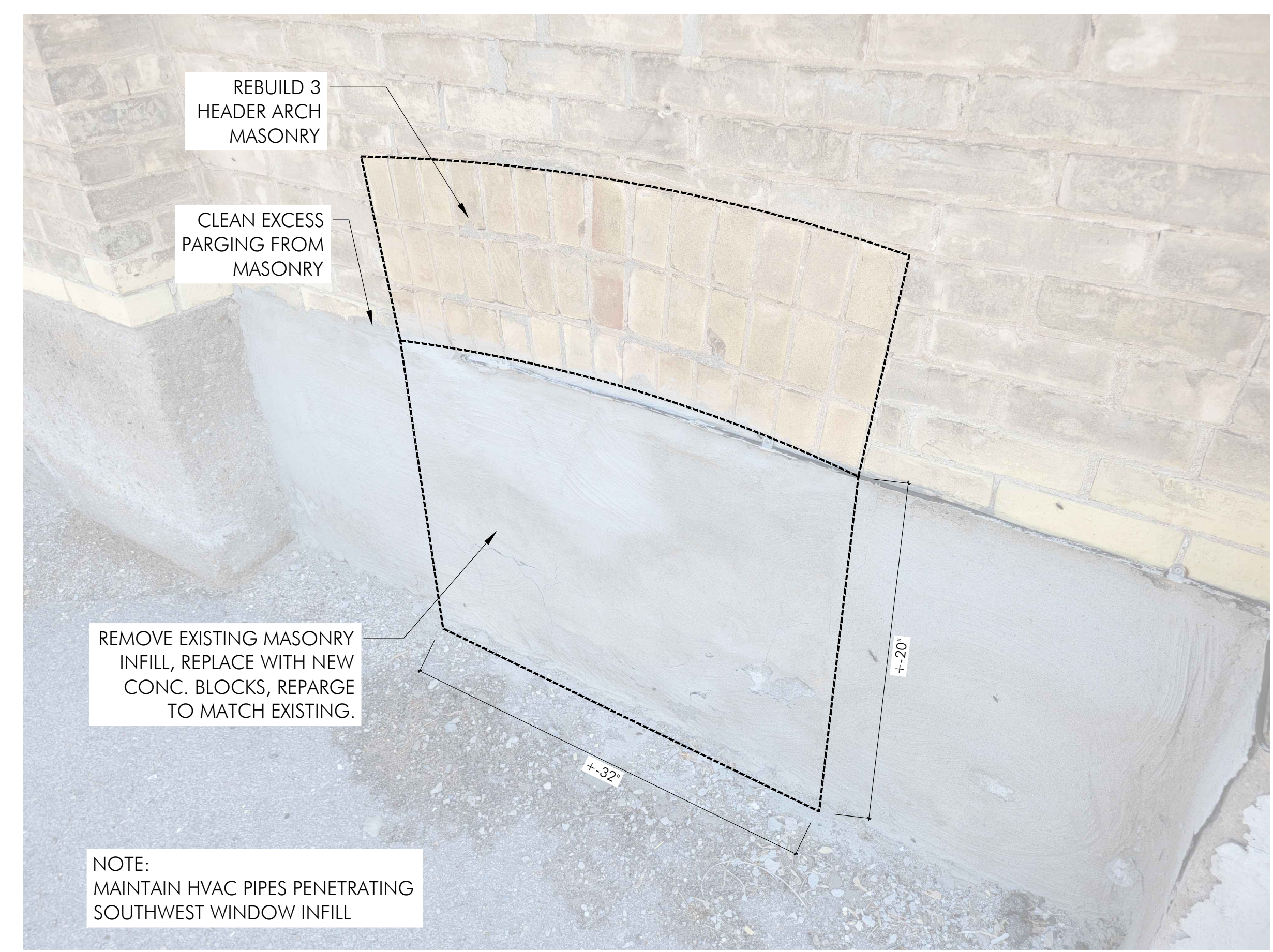
**1 WEST ELEVATION 1**  
A1.4 NTS



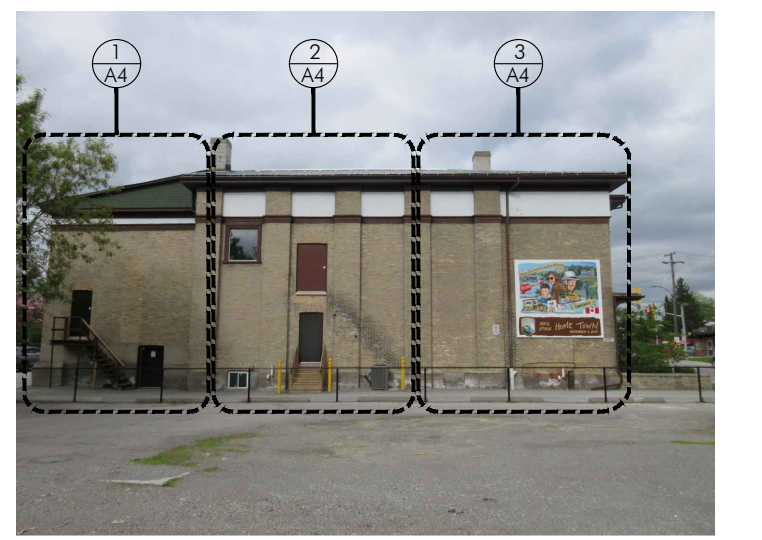
**2 WEST ELEVATION 2**  
A1.4 NTS



**3 WEST ELEVATION 3**  
A1.4 NTS



**4 WINDOW INFILL REBUILD AT 3 LOCATIONS**  
A1.4 NTS



REFERENCE ELEVATION

LEGEND:

- AREA OF SIGNIFICANT STAIN REMOVAL
- AREA OF GRAFFITI CLEANING
- AREA OF REPARING - SEPARATE PRICE 1
- AREA OF PARING REMOVAL
- OPEN MASONRY JOINTS - REPOINT
- MASONRY CRACK REPAIR - STABILIZE & REPOINT
- STUCCO CRACK REPAIR - RAKE OUT CRACK & PLASTER
- CONCRETE CRACK REPAIR - APPLY CONCRETE CRACK FILLER
- BRICK REPLACEMENT
- SEALANT REPLACEMENT
- REPOINTING

DRAWINGS ARE NOT TO BE SCALED.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
© ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.


NO.	DATE	DESCRIPTION
<b>REVISIONS</b>		
<b>ISSUE</b>		
NO.	DATE	DESCRIPTION
1	15 JAN 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION	STAMP

**SBA** Stevens Burgess Architects Ltd.  
204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417

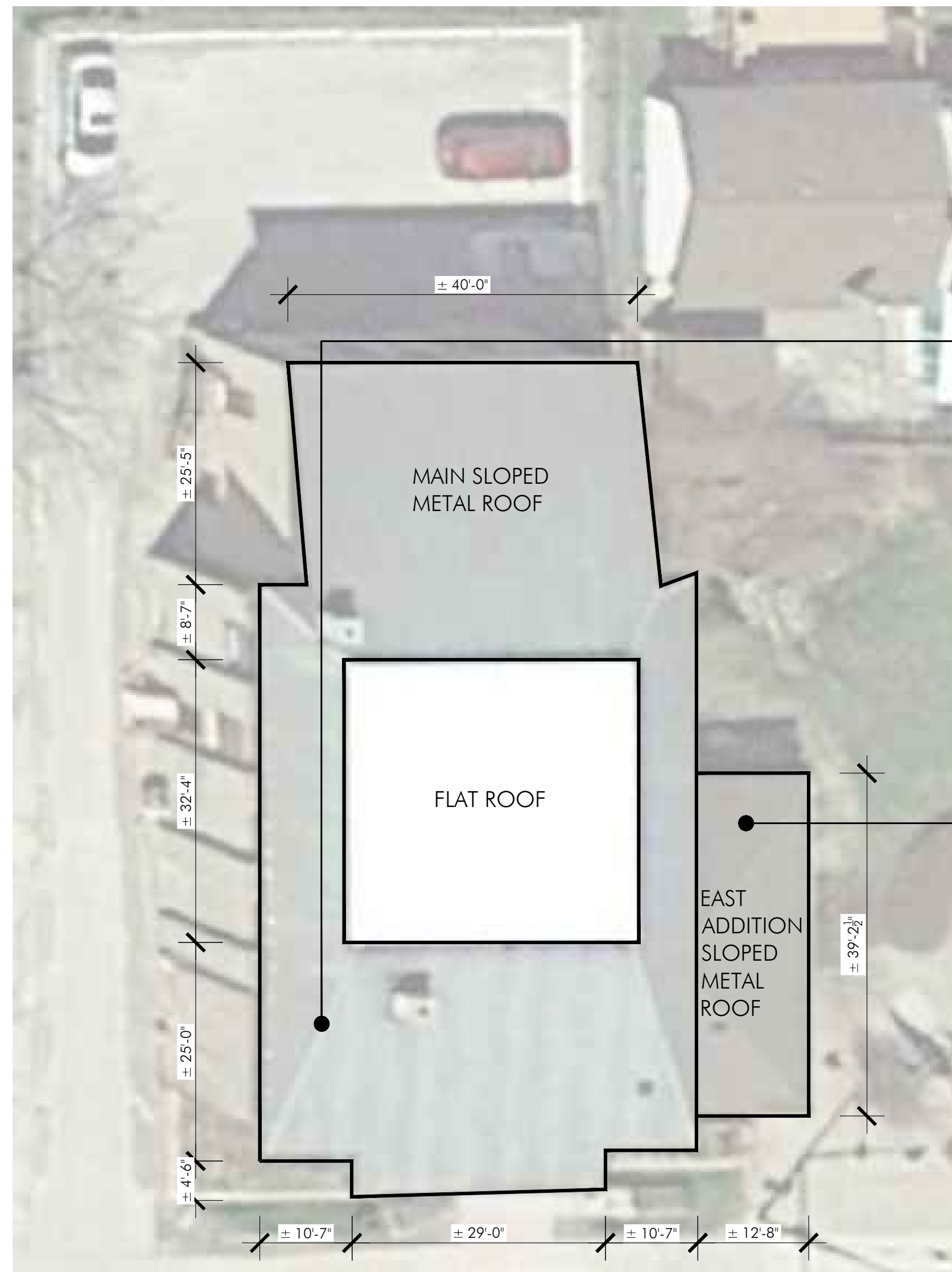
CLIENT:  
**CITY OF KAWARTHA LAKES**  
**26 FRANCIS STREET**  
**LINDSAY, ON K9V 5R8**

PROJECT:  
CORONATION HALL  
EXTERIOR CONSERVATION  
01 KING STREET WEST OMEMEE, ON

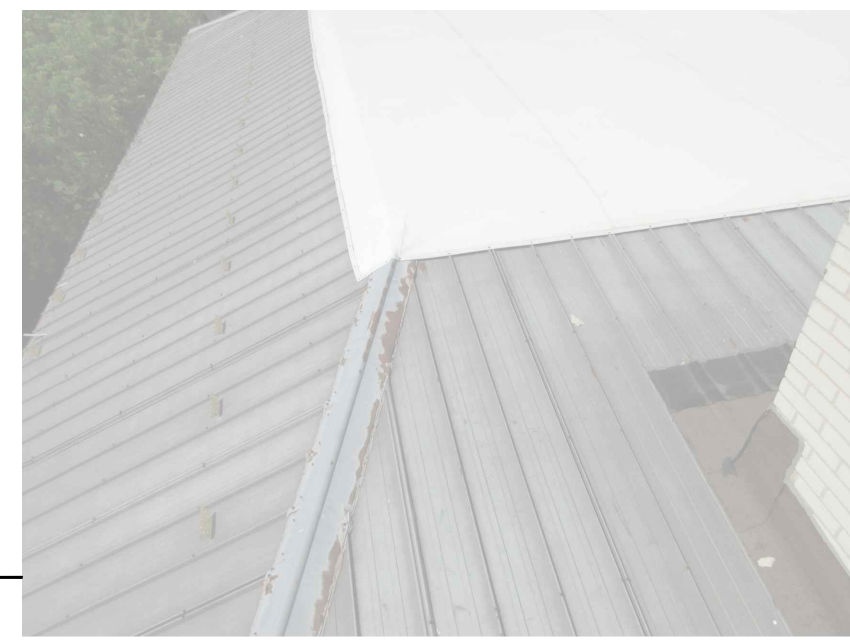
PROJECT NO.:  
24012

DRAWING TITLE:  
**WEST ELEVATION**

SCALE: AS NOTED	DATE: JAN 2025	REVISED:	SHEET NO.:
FILE NO.:	APPROVED BY:	DRAWN BY:	<b>A1.5</b>
A24012	SK	AP	

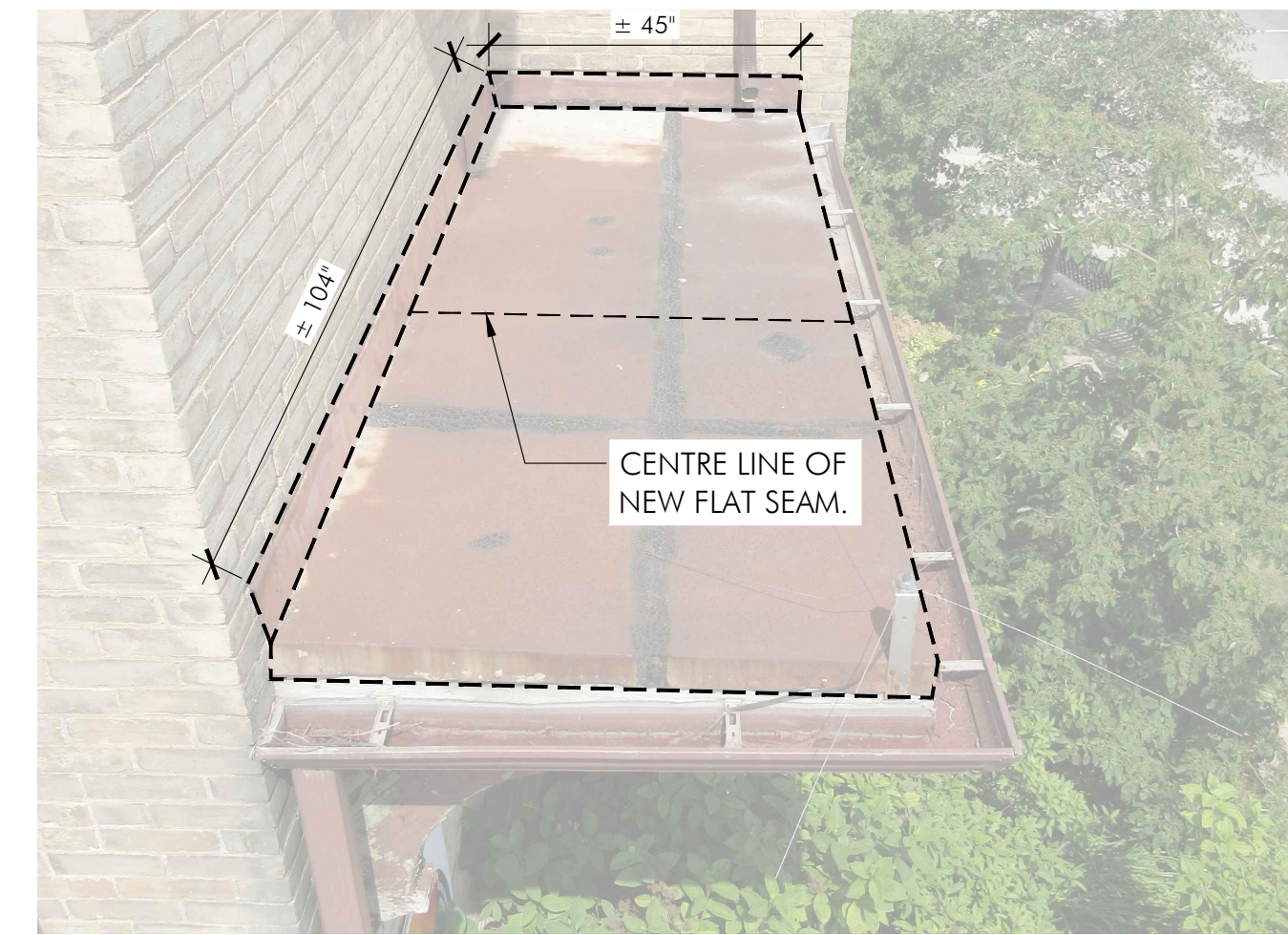


**1 ROOF PLAN**  
A1.5 NTS

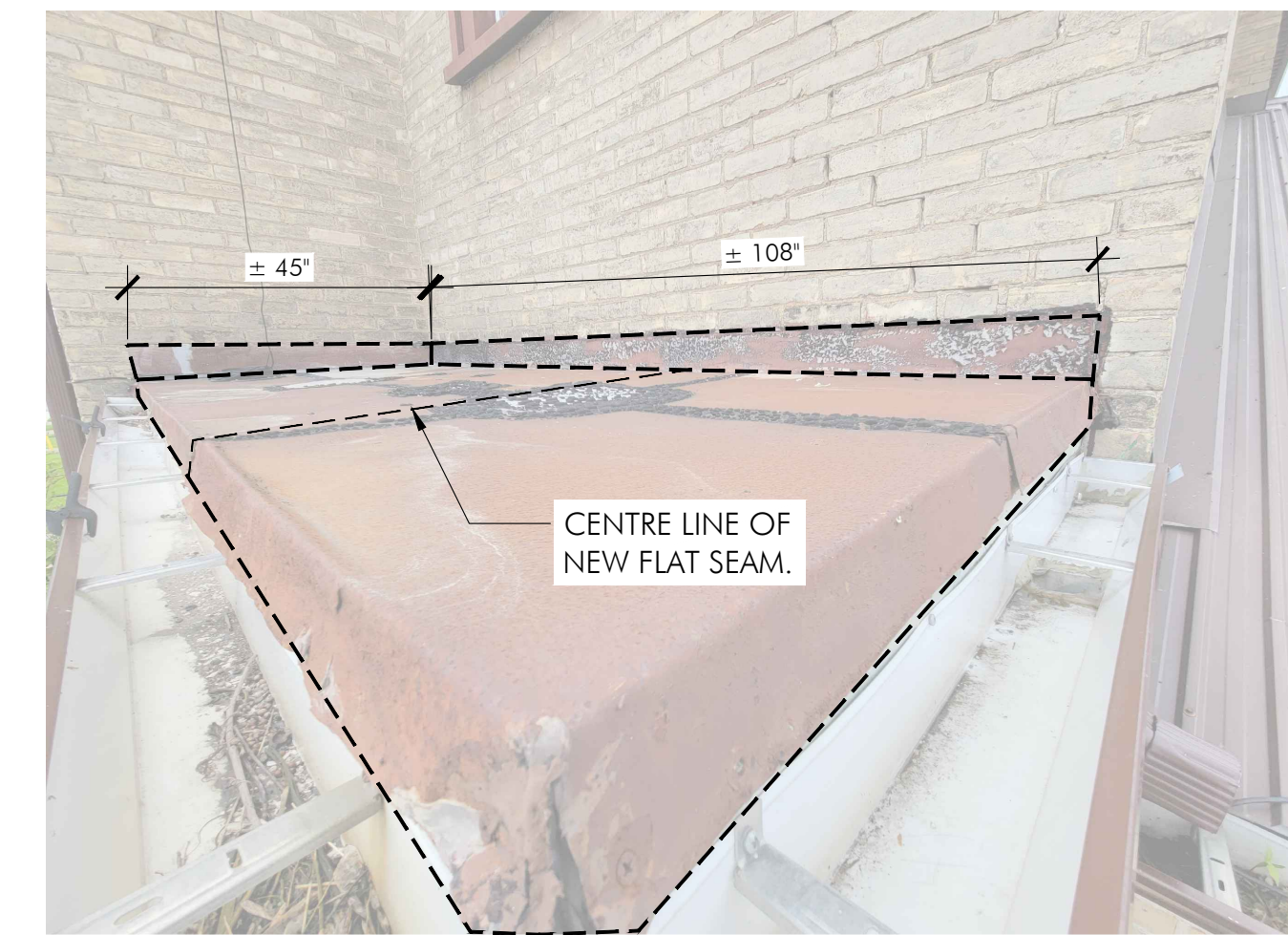


- MAIN ROOF REPAIRS:**
1. INSPECT HIP ROOF METAL ANGLES FOR SEVERE DETERIORATION. REVIEW CONDITION WITH CONSULTANT
  2. SCRAPE & SAND ALL SURFACES TO REMOVE LOOSE PAINT & RUST TO BASE METAL.
  3. PRIME WITH RUST INHIBITIVE PRIMER & PAINT ALL METAL SURFACES TO MATCH EXISTING.
  4. UNDERTAKE REPAIRS AS DETERMINED DURING REVIEW. CHANGES TO SCOPE TO BE ADDRESSED BY CHANGE ORDER.

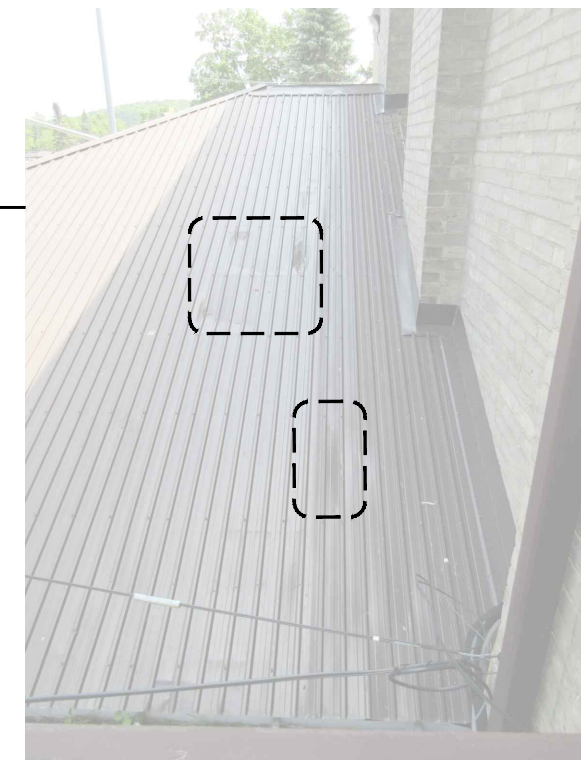
**2 MAIN ROOF REPAIR**  
A1.5 NTS



**4 SOUTH CANOPY 1**  
A1.5 NTS

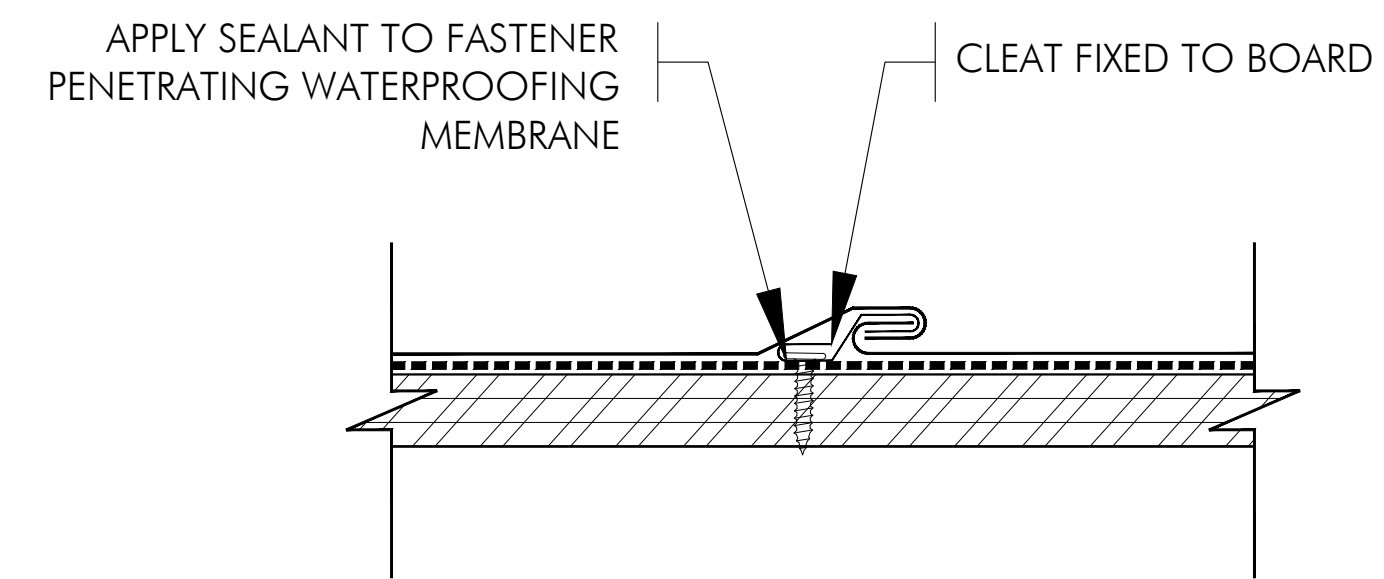


**5 SOUTH CANOPY 2**  
A1.5 NTS

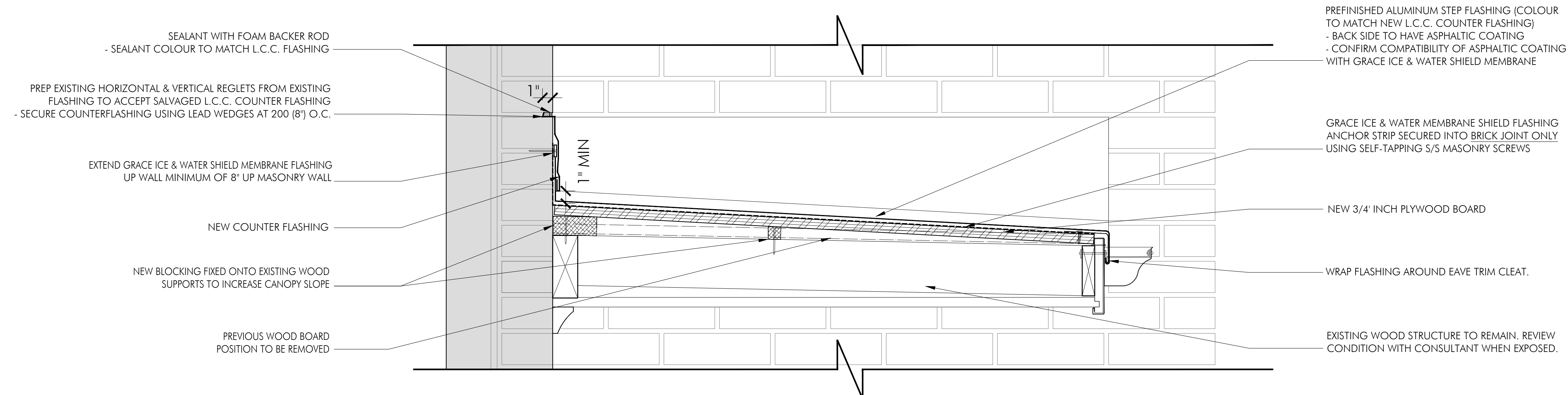


- EAST ADDITION ROOF REPAIRS:**
1. CHECK SHEET METAL FOR PAINT DAMAGE.
  2. ANY AREAS OF REMOVED PAINT TO BE PATCH REPAIRED PRIME & PAINTED.
  3. UNDERTAKE REPAIRS AS DETERMINED DURING REVIEW. CHANGES TO SCOPE TO BE ADDRESSED BY CHANGE ORDER.

**3 EAST ADDITION ROOF REPAIR**  
A1.5 NTS



**6 FLAT SEAM DETAIL**  
A1.6 NTS



**7 CANOPY REPAIR DETAIL**  
A1.5 NTS

DRAWINGS ARE NOT TO BE SCALED.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
© ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
<b>REVISIONS</b>		
<b>ISSUE</b>		
1	15 JAN 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION

STAMP

**SBA** Stevens Burgess Architects Ltd.  
204 - 120 Carlton St., Toronto, ON, M5A 2K2 T: 416-961-5690 F: 416-972-6417

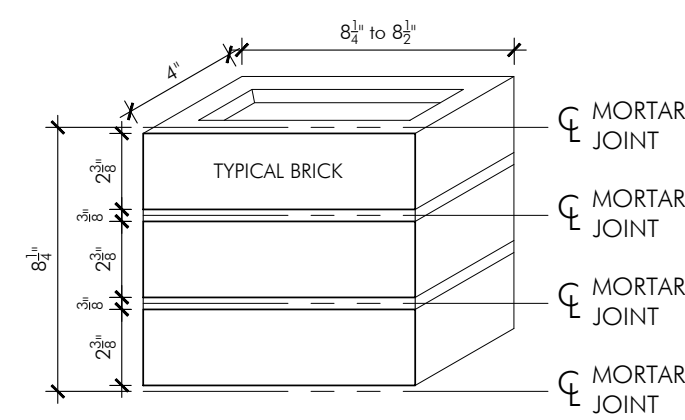
CLIENT:  
**CITY OF KAWARTHA LAKES  
26 FRANCIS STREET  
LINDSAY, ON K9V 5R8**

PROJECT:  
CORONATION HALL  
EXTERIOR CONSERVATION  
01 KING STREET WEST OMEMEE, ON

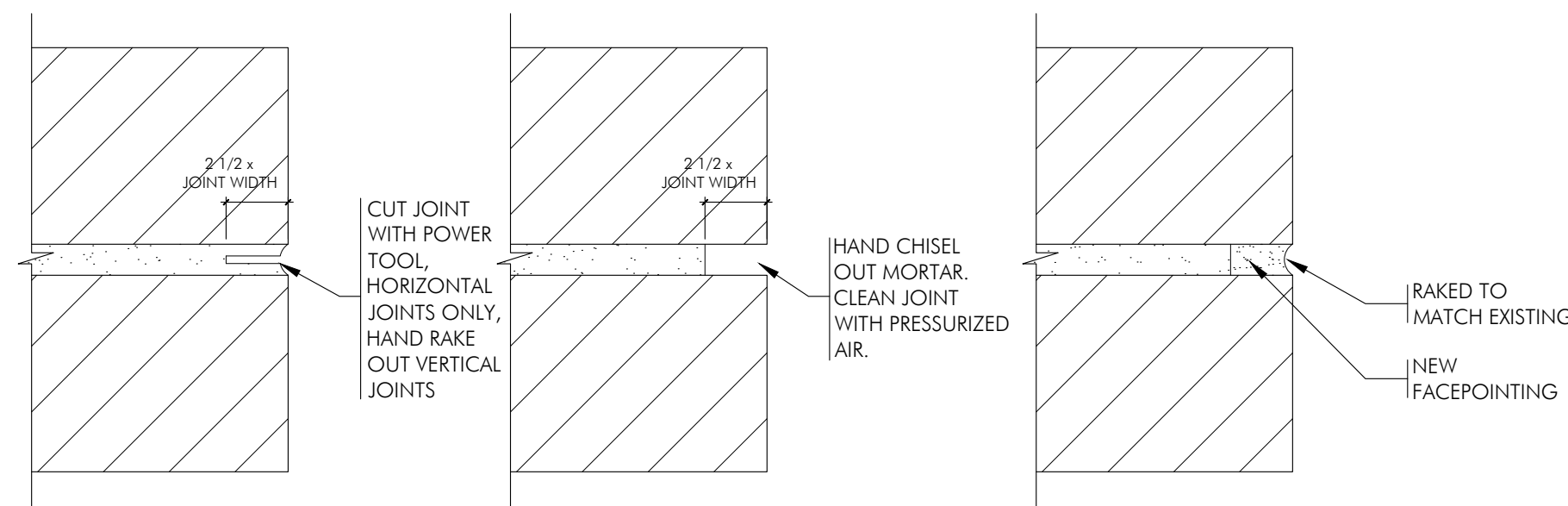
PROJECT NO.:  
24012

DRAWING TITLE:  
**ROOF & CANOPY REPAIRS**

SCALE:	DATE:	REVISED:	SHEET NO.:
AS NOTED	JAN 2025		<b>A1.6</b>
FILE NO: A24012	APPROVED BY: SK	DRAWN BY: AP	

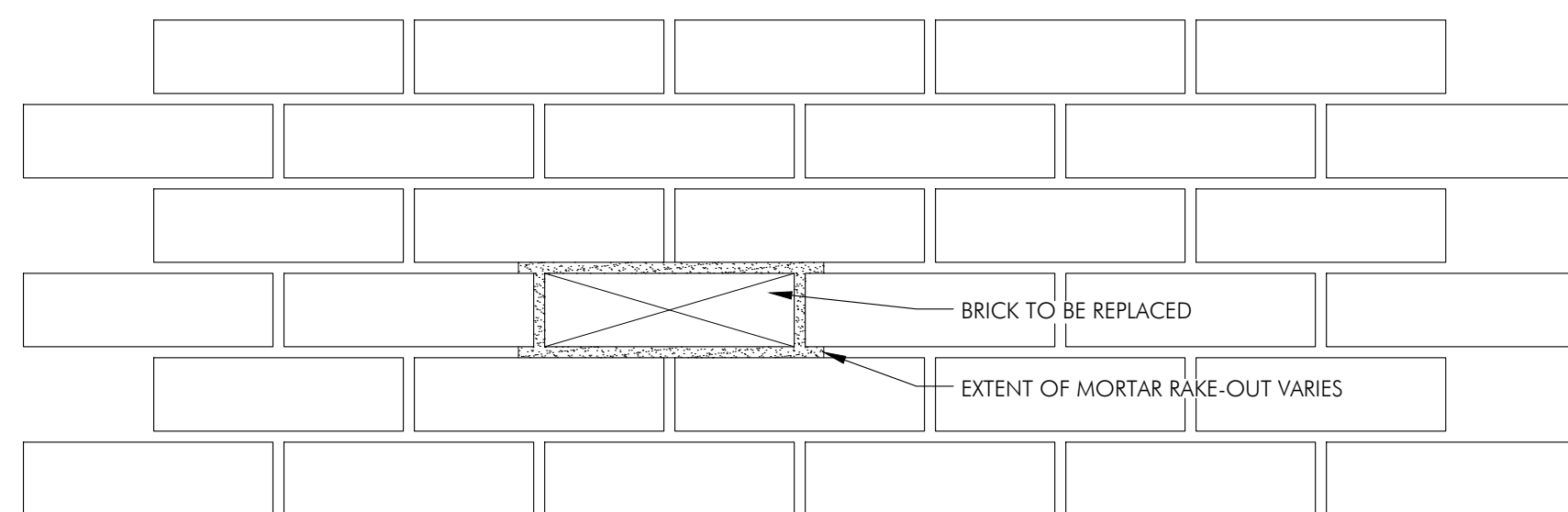


**1 BRICK COURSING**  
A1.6 SCALE 2: 1"-0"



- NOTES:  
1) REFER TO SPECIFICATIONS FOR FULL DESCRIPTION.  
2) BRICK JOINTS TO HAVE CONCAVE PROFILE.  
3) POINTING SIMILAR FOR REBUILT AREAS.

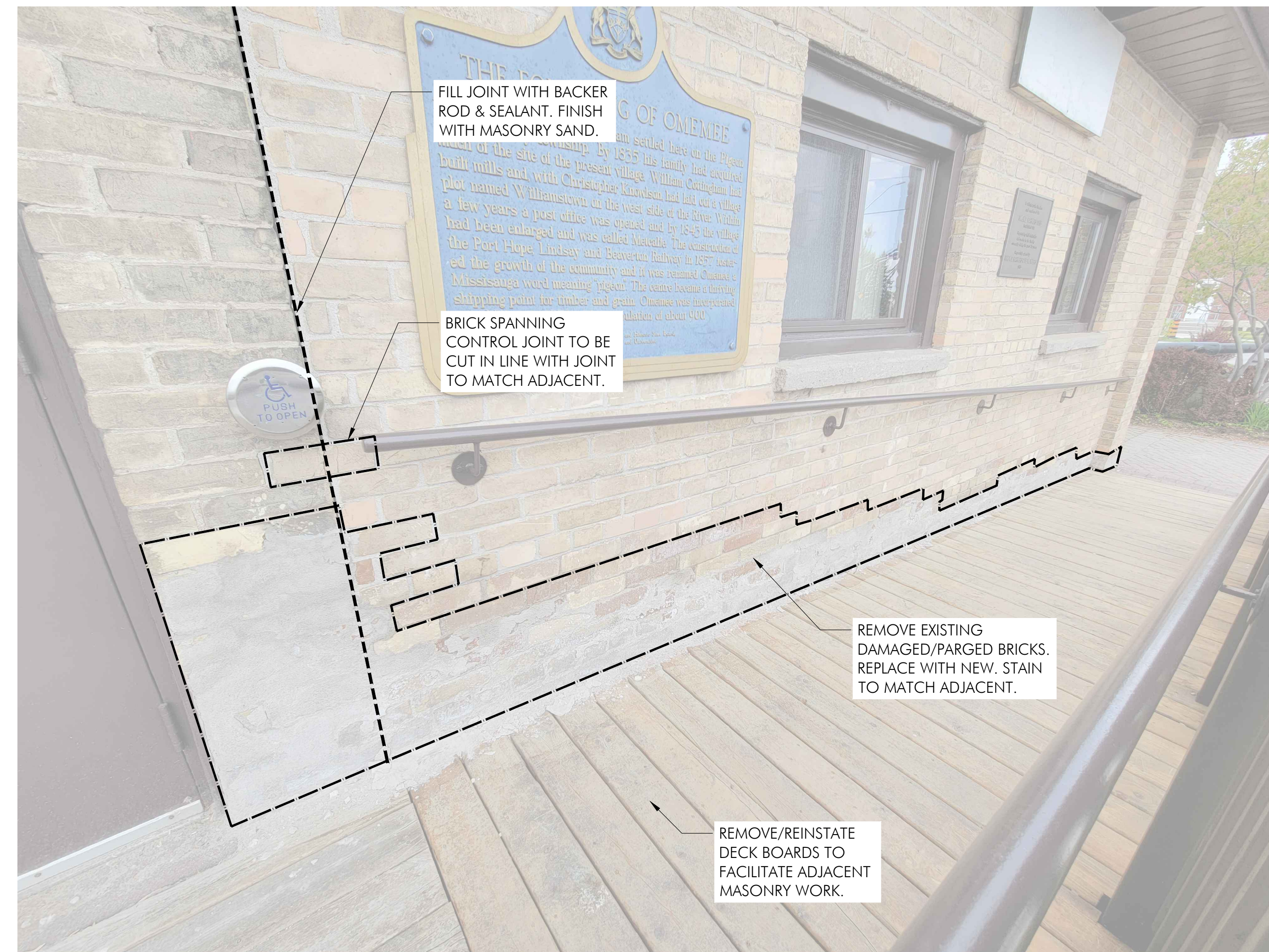
**2 BRICK REPOINTING**  
A1.6 RP



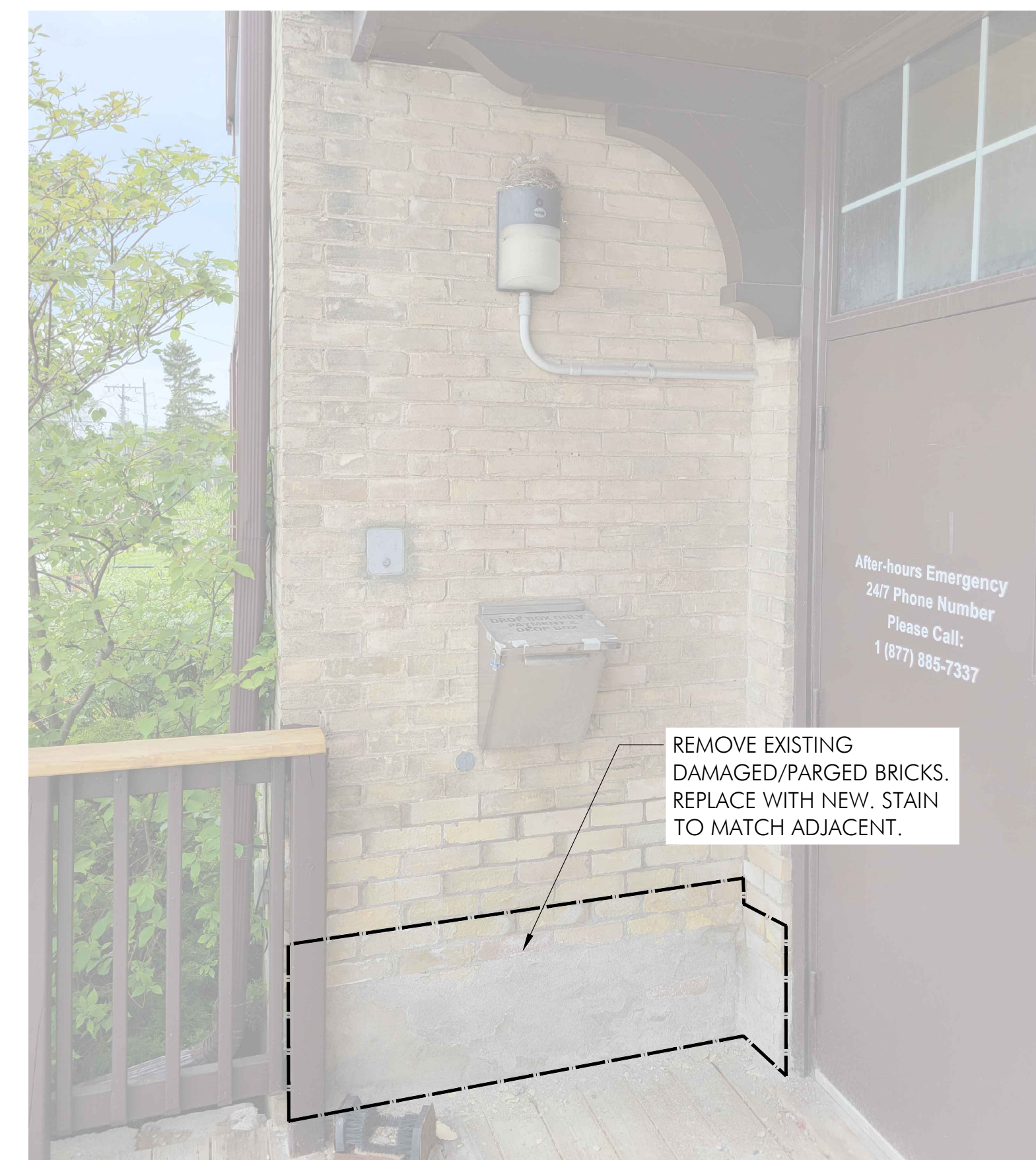
- NOTES:  
1) HAND RAKE OUT FACE BRICK  
2) REMOVE BRICK BY HAND  
3) CLEAN ALL EXPOSED SURFACES OF MORTAR  
4) BOND, COURSING AND JOINTING TO MATCH EXISTING.  
5) SET BRICK IN FULL BED OF MORTAR TRUE TO LINE & LEVEL WITH ADJACENT UNITS.  
6) CAVITY TO REAR OF BRICK TO BE FILLED SOLIDLY WITH MORTAR.  
7) FILL AND COMPACT BED AND VERTICAL JOINTS UNTIL FILLED SOLIDLY WITH MORTAR.  
8) TOOL JOINTS AS PER DETAIL 2/A1.6

**3 INDIVIDUAL BRICK REPLACEMENT**  
A1.6 BR PROVIDE FOR 300 REPAIRS

**4 MASONRY BY RAMP REPAIR**  
A1.6 NTS



**5 MASONRY BY ENTRANCE**  
A1.6 NTS



DRAWINGS ARE NOT TO BE SCALED.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
© ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO.	DATE	DESCRIPTION

**REVISIONS**

**ISSUE**

NO.	DATE	DESCRIPTION
1	15 JAN. 2025	BUILDING PERMIT APPLICATION
2		
3		
4		

ORIENTATION	STAMP

**SBA** Stevens Burgess Architects Ltd.  
204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417

CLIENT:  
**CITY OF KAWARTHA LAKES**  
**26 FRANCIS STREET**  
**LINDSAY, ON K9V 5R8**

PROJECT:  
CORONATION HALL  
EXTERIOR CONSERVATION  
01 KING STREET WEST OMEMEE, ON

PROJECT NO.:  
24012

DRAWING TITLE:  
**MASONRY REPAIRS**

SCALE: AS NOTED	DATE: JAN 2025	REVISED:	SHEET NO.:
FILE NO.: A24012	APPROVED BY: SK	DRAWN BY: AP	<b>A1.7</b>