

The Corporation of the City of Kawartha Lakes

Committee of Adjustment Report – Jewell

Report Number COA2026-036

Public Meeting

Meeting Date: April 23, 2026

Time: 1:00 pm

Location: Council Chambers, City Hall, 26 Francis Street, Lindsay

Ward 6 – Geographic Township of Ops

Subject: The purpose and effect is to facilitate the construction of a detached garage.

Relief sought:

1. Section 2.1 of the Zoning By-law permits a maximum accessory structure height of 5 metres; the proposed detached garage has a height of 6.2 metres.

The variance is requested at **236 Traceys Hill Road** (File D20-2026-037).

Author: Mobeen Ghafari, Planner II

Signature: 

Recommendations

That Report COA2026-036 – Jewell, be received;

That minor variance application D20-2026-037 be GRANTED, as the application meets the tests set out in Section 45(1) of the Planning Act.

Conditions

- 1) **That** building construction related to this approval shall proceed generally in accordance with the sketch in Appendix C submitted as part of Report COA2026-036, which shall be attached to and form part of the Committee's Decision; and,
- 2) **That** this approval shall be in effect for a period of twenty-four (24) months after the date of the Notice of Decision, after which the approval shall lapse, and this application shall be deemed to have been annulled and rescinded by the Committee.

This approval pertains to the application as described in report COA2026-036. Fulfillment of all conditions is required for the Minor Variance to be considered final and binding.

Application Summary

Proposal:	Construction of a detached garage
Owners:	Carol Jewell
Applicant:	Same as owner
Legal Description:	Concession 9 Part Lot 15 (being Part Lot 1 on 57R1704)
Official Plan ¹ :	Prime Agricultural and Environmental Protection (City of Kawartha Lakes Official Plan, 2012)
Zone ² :	Agricultural (A) Zone (Township of Ops Zoning By-law 93-30)
Site Size:	13,046.83 square metres (140,434.90 square feet)
Site Access:	Year-round maintained road
Site Servicing:	Private individual well and septic system
Existing Uses:	Residential
Adjacent Uses:	Residential and Agricultural

Rationale

The variance is desirable for the appropriate development or use of the land, building or structure.

The subject property is situated in the geographic Township of Ops, with access from Traceys Hill Road. The lots in the surrounding area vary in size. Based on information from the Municipal Property Assessment Corporation (MPAC), the surrounding area is primarily a mix of low-density residential uses, agricultural uses, and agricultural uses with residences. In terms of visual character, the subject property is buffered by vegetation within its front yard, which is along Traceys Hill Road.

The subject property currently contains a few structures with different periods of construction. More specifically, there is one existing single detached dwelling with an attached garage that was constructed in 1976. There are also two sheds that were both constructed in 1980.

¹ See Schedule 1

² See Schedule 1

The application seeks to facilitate the construction of a new detached garage on the property. The proposal does not conflict with the surrounding residential and agricultural land uses and built form.

Given the above analysis, the variance is considered desirable and appropriate for the use of land.

The variance maintains the general intent and purpose of the Official Plan.

The subject property is designated Prime Agricultural and Environmental Protection under the City of Kawartha Lakes Official Plan (2012). The proposed detached garage will be situated in the portion of the property that is designated as Prime Agricultural. The Prime Agricultural designation permits the use of low-density single detached dwellings and accessory structures. The proposed development does not conflict with the objectives of the designation as it does not change the existing low-density residential land use, and maintains a low profile.

Performance and siting criteria is implemented through the Zoning By-law.

Therefore, the variance is considered to maintain the general intent and purpose of the Official Plan.

The variance maintains the general intent and purpose of the Zoning By-law.

The subject property is zoned Agricultural (A) Zone under the Township of Ops Zoning By-law 93-30. The A Zone permits various uses, including but not limited to a single detached dwelling and accessory uses. In order for the proposed detached garage to be constructed, relief is required from the maximum permitted accessory structure height provision.

Section 2.1 of the Zoning By-law permits a maximum height of 5 metres for an accessory structure in a residential zone or accessory structure to a residential use. The proposed height is 6.2 metres. The intent of this provision is to regulate the vertical massing and elevation of accessory structures, prevent structures from overshadowing neighbouring properties, and preserve the visual character of an area. The proposed detached garage is situated in the rear yard of the property, approximately 60.04 metres from the road. As a result, the proposed detached garage will be located in a more discrete location on the property. The proposed detached garage will also be located a significant distance away from the neighbouring properties to the east and west of the subject property, specifically 12.95 meters from the east side lot line and 35.20 meters from the west side lot line. As a result, the proposed detached garage is not anticipated to negatively impact any of the neighbouring properties. Given the predominantly agricultural nature of the area, it is customary for agricultural properties to include taller structures. Accordingly, the proposed garage is consistent with the established visual character of the area.

Therefore, the variance is considered to maintain the general intent and purpose of the Zoning By-Law.

The variance is minor in nature.

There are no anticipated impacts on environmental features; neighbouring properties; or, the function of the municipal right-of-way with respect to access, drainage, or streetscaping and maintenance.

Other Alternatives Considered:

No alternatives considered.

Consultation Summary

Notice of this application was circulated in accordance with the requirements of the Planning Act.

Agency Comments:

No comments received as of the writing of the staff report.

Public Comments:

No comments received as of the writing of the staff report.

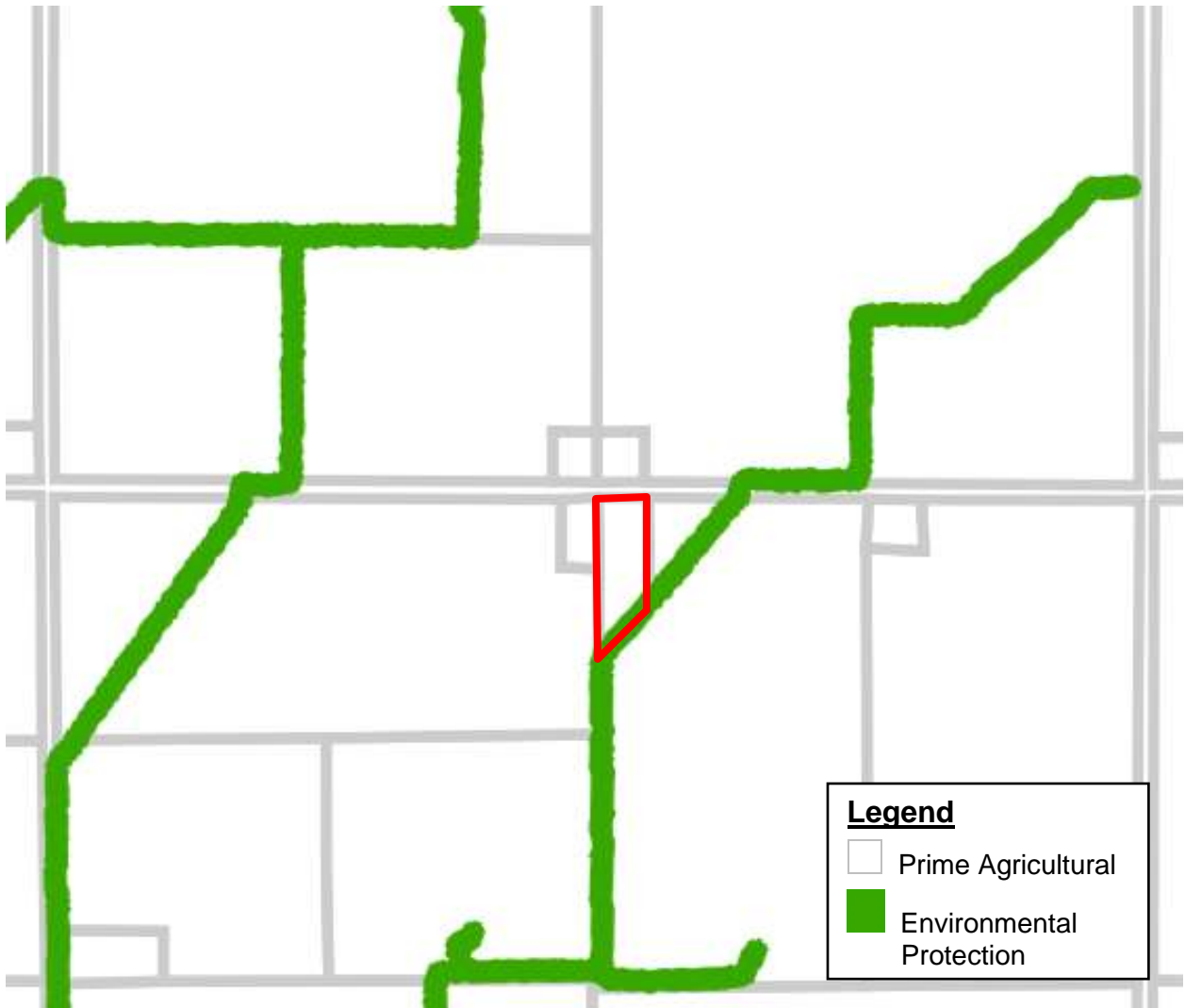
Attachments

- Appendix A – Location Map
- Appendix B – Aerial Photo
- Appendix C – Applicant’s Sketch
- Appendix D – Construction Drawing

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Department Head: Leah Barrie, Director of Development Services
Division File: D20-2026-037

Schedule 1 Relevant Planning Policies and Provisions

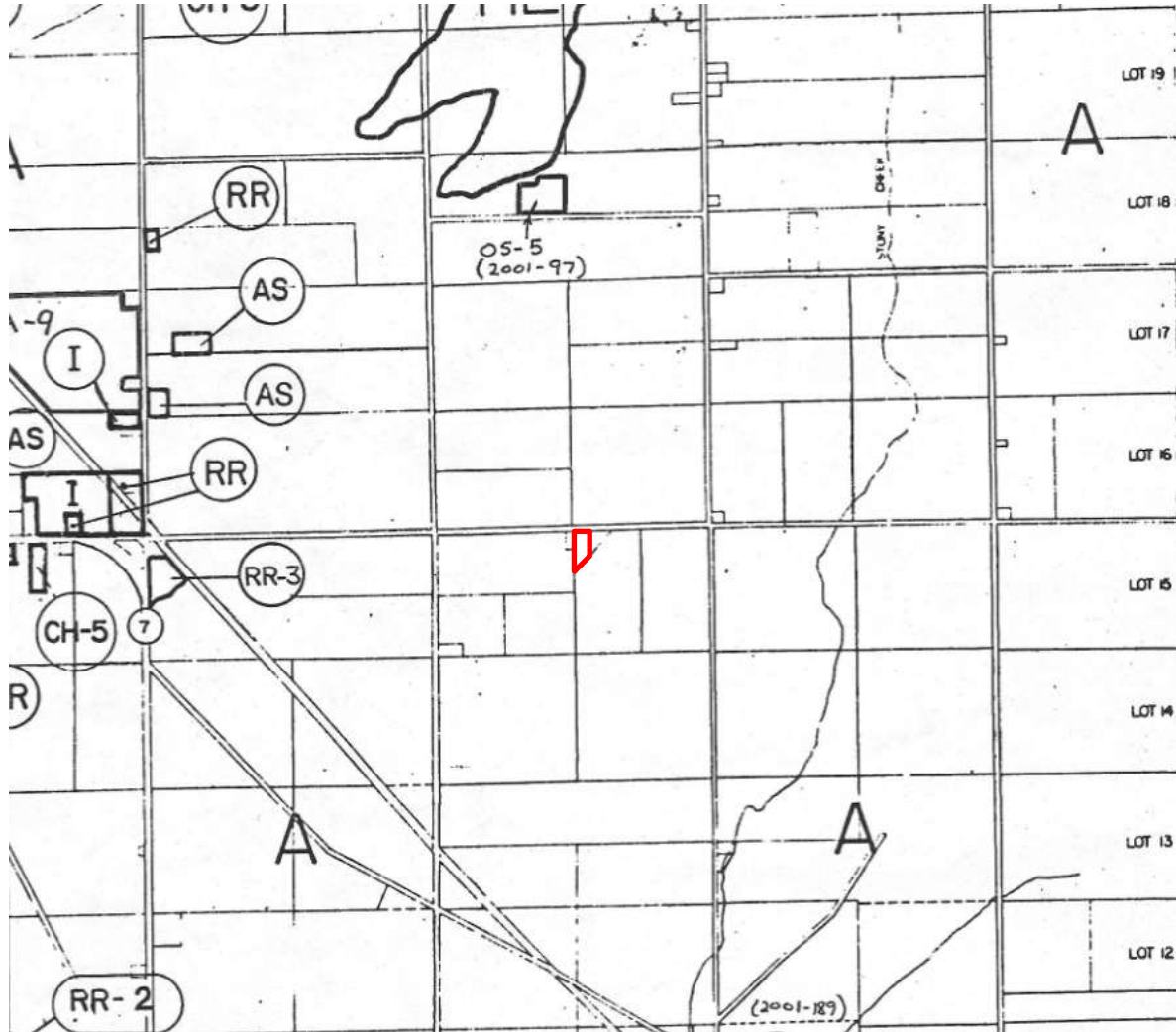
City of Kawartha Lakes Official Plan



15. Prime Agricultural Designation

17. Environmental Protection Designation

Township of Ops Zoning By-law 93-30

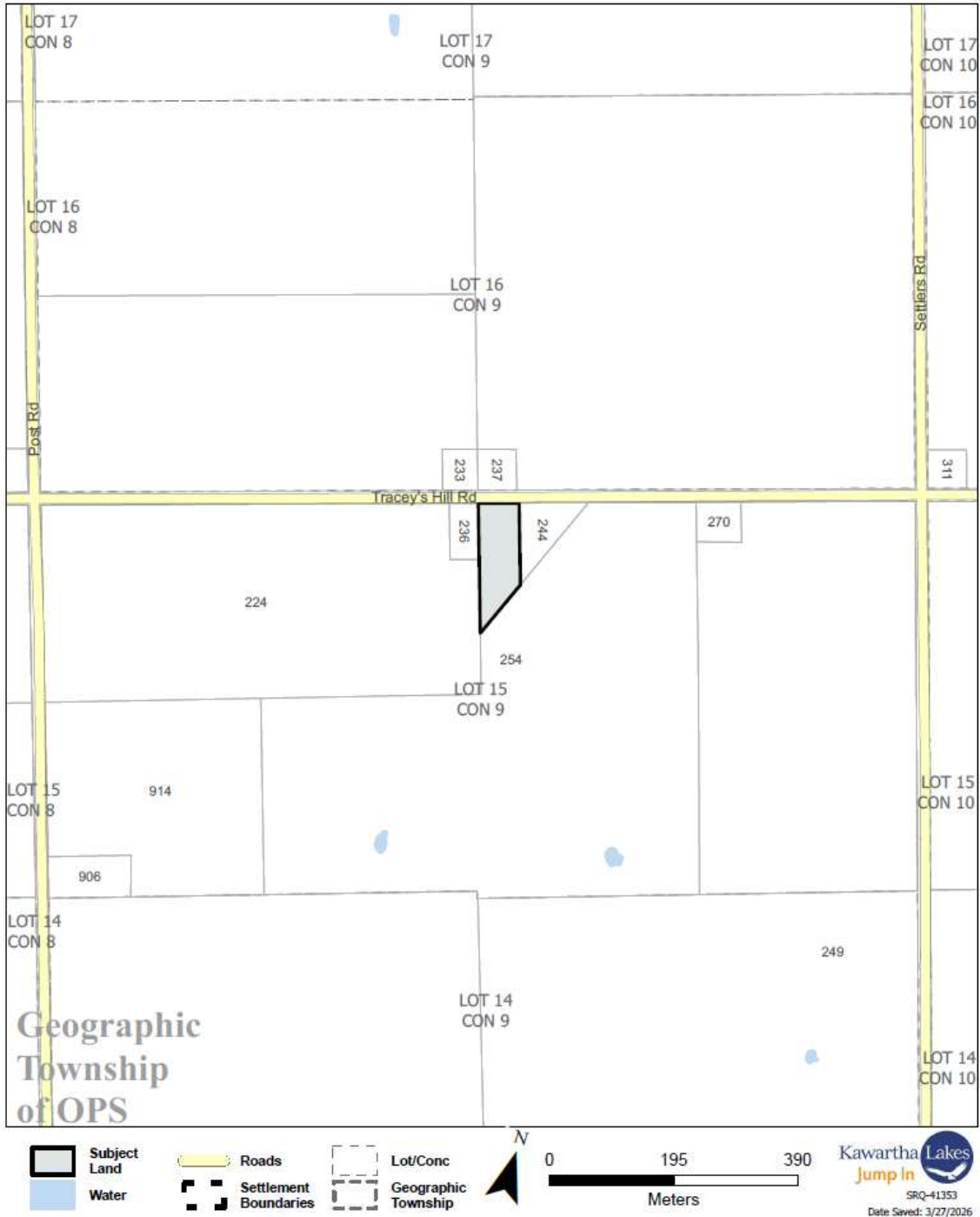


Section 2. General Provisions

Section 16. Agricultural (A) Zone

Location Map

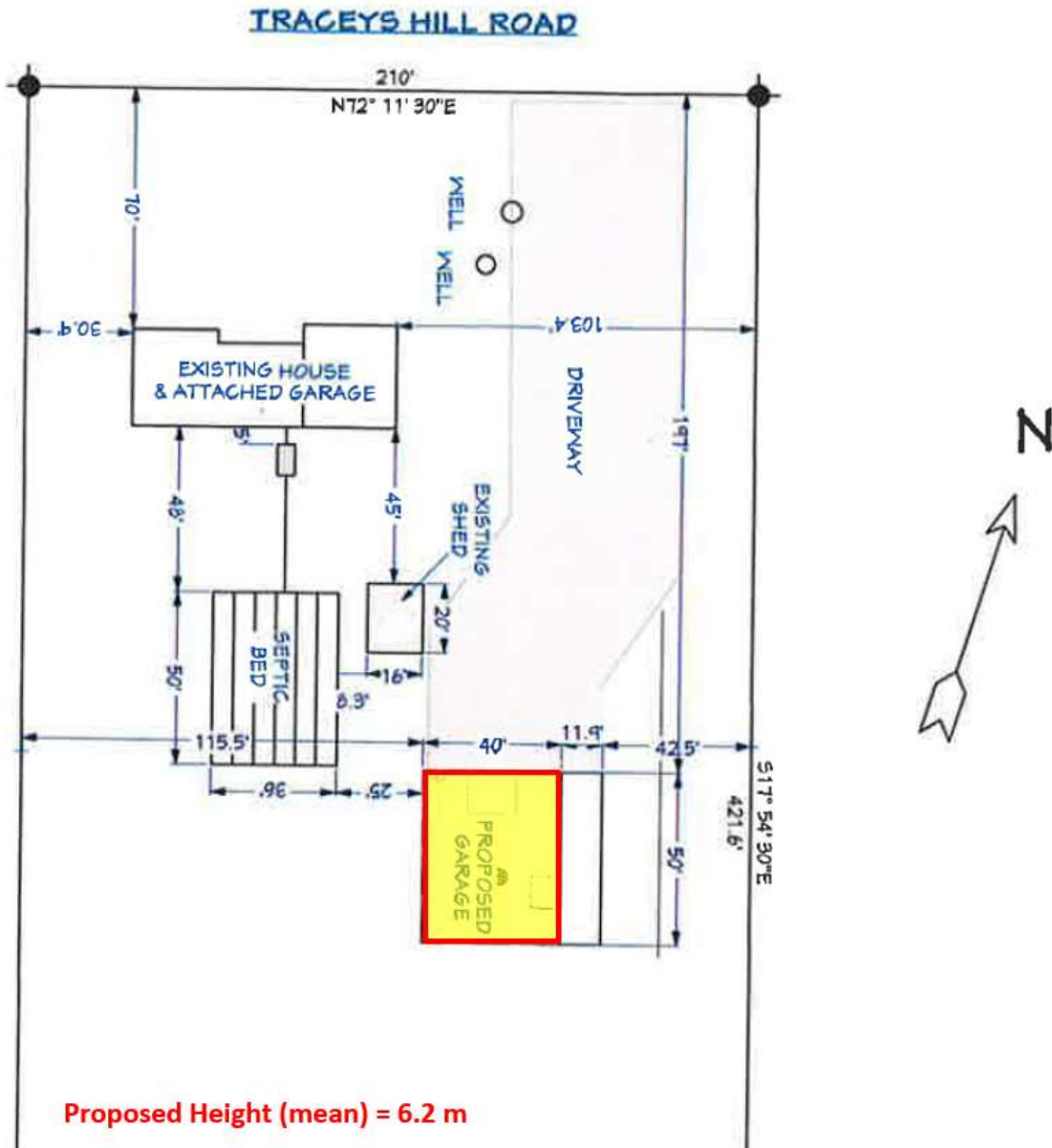
D20-2026-037



Aerial Photo



Applicant's Sketch



Construction Drawing

