

The Corporation of the City of Kawartha Lakes

Committee of Adjustment Report – Gupta

Report Number COA2026-040

Public Meeting

Meeting Date: April 23, 2026

Time: 1:00 pm

Location: Council Chambers, City Hall, 26 Francis Street, Lindsay

Ward 5 – Former Town of Lindsay

Subject: The purpose and effect is to facilitate the construction of a five-storey hotel, three drive-thru restaurants, and a multi-unit retail building. Buildings can be identified through the associated site plan.

Relief sought:

1. Section 5.12.k.ii. of the Zoning By-law requires 1.2 parking spaces per guest room of a hotel building, and as there are 111 guest rooms a minimum of 134 parking spaces are required, there are 133 parking spaces proposed;
2. Section 5.13.a. of the Zoning By-law requires a minimum 2 loading spaces for a building with 2,000 to 7,999 square metres of gross floor area in a Commercial Zone, 1 loading space is proposed for the hotel;
3. Section 5.13.a of the Zoning By-law requires loading spaces to have a minimum dimension of 4 metres by 15 metres, the proposed loading spaces for Buildings D and E are 3.75 metres by 9.0 metres; and,
4. Section 16.2.h. of the Zoning By-law permits a maximum height of 10.5 metres, the proposed hotel is 16.1 metres in height plus a 2.13 metre parapet.

The variance is requested at '0' Angeline Street North (File D20-2026-041).

Author: Ahmad Shahid, Planner II

Signature:



Recommendations

That Report COA2026-040 – Gupta, be received;

That minor variance application D20-2026-041 be GRANTED, as the application meets the tests set out in Section 45(1) of the Planning Act.

Conditions

- 1) **That** building construction related to this approval shall proceed generally in accordance with the sketch in Appendix C submitted as part of Report COA2026-040, which shall be attached to and form part of the Committee's Decision; and,
- 2) **That** this approval shall be in effect for a period of thirty-six (36) months after the date of the Notice of Decision, after which the approval shall lapse, and this application shall be deemed to have been annulled and rescinded by the Committee.

This approval pertains to the application as described in report COA2026-040. Fulfillment of all conditions is required for the Minor Variance to be considered final and binding.

Application Summary

Proposal:	Construction of a five-storey hotel, three drive-thru restaurants, and a multi-unit retail building.
Owners:	Rattan Gupta
Applicant:	Frank Venditti
Legal Description:	Block 16, Plan 57M782
Official Plan ¹ :	Urban Settlement Area (City of Kawartha Lakes Official Plan, 2012)
Secondary Plan ² :	Mixed-Use Residential (Lindsay Secondary Plan, 2023)
Zone ³ :	General Commercial Special Zone Eleven (GC-S11) Zone (Town of Lindsay Zoning By-law 2000-75)
Site Size:	1.61 hectares (3.98 acres)
Site Access:	Year-round maintained road
Site Servicing:	Full municipal servicing
Existing Uses:	Vacant
Adjacent Uses:	Residential, Commercial

¹ See Schedule 1

² See Schedule 1

³ See Schedule 1

Rationale

The variance is desirable for the appropriate development or use of the land, building or structure.

The subject property is located in the former Town of Lindsay, with access from Angeline Street North. The surrounding area is a mix of residential, commercial, and institutional uses. There are varying levels of residential density in the area including multi-unit residential and low-density residential land uses. Commercial properties vary in form, directly west of the subject property is a commercial plaza. In the broader context there are hospitals and churches as well.

The subject property is currently vacant, with no civic address. The proposal seeks to facilitate the construction of a five-storey hotel, three drive-thru restaurants, and a multi-unit retail building. The proposed buildings and their intended uses are similar to and align with the directly adjacent lands and surrounding area.

The property is also currently undergoing and subject to a site plan control process (D19-2023-005), for this same proposal.

Given the above analysis, the variance is considered desirable and appropriate for the use of land.

The variance maintains the general intent and purpose of the Official Plan.

The subject property is designated Urban Settlement Area under the City of Kawartha Lakes Official Plan. The Urban Settlement Area designation aims to provide general broad policies that are applicable to all urban settlements within the City. The Lindsay Secondary Plan provides more specific policies directed towards the former Town of Lindsay. Under the Secondary Plan, the property is designated Mixed Use Residential. The Secondary Plan states that the predominant use of land shall be a mix of low profile commercial and residential uses in the same building or in separate buildings.

Policy 18.16.12. states new Commercial developments should generally site parking areas to the side or rear of buildings wherever possible, and if abutting a street, landscaping should be provided. Policy 18.16.13. states loading areas should be located away from street frontages, located at the side or rear of buildings to reduce visibility from the public frontage. Policy 31.2.3.1.5.4. of the Secondary Plan states that the maximum height of any new commercial building shall be compatible with the surrounding residential uses.

The Secondary Plan establishes the broader policy framework and land use vision for the area, while detailed performance and siting criteria are implemented through the Zoning By-law.

Therefore, the variance is considered to maintain the general intent and purpose of the Official Plan.

The variance maintains the general intent and purpose of the Zoning By-law.

The subject property is zoned General Commercial Special Zone Eleven (GC-S11) Zone under the Town of Lindsay Zoning By-law 2000-75. The GC-S11 Zone

permits various uses including but not limited to hotel, eating establishment, and retail establishment. The proposal complies with all provisions of the Zoning By-law with the exception of the proposed number of parking spaces and loading spaces, dimension of loading spaces, and building heights.

Section 5.12.k.ii. of the Zoning By-law requires 1.2 parking spaces per guest room of a hotel building, there are 133 parking spaces proposed for the total 111 guest rooms. Pursuant to the Zoning By-law's parking requirements, 133.2 spaces are calculated and must be rounded up to the nearest whole number, resulting in a requirement of 134 parking spaces for the hotel. The intention of minimum parking requirements in zoning by-laws is to ensure that developments provide sufficient on-site parking to meet the anticipated demand generated by their specific use. In this case, the proposed reduction is considered reasonable given the site's urban context, potential availability of shared or nearby parking, and opportunities for pedestrian or transit access. The discrepancy is minimal and the proposed parking supply is anticipated to sufficiently meet operational needs while supporting efficient land use and site design.

Section 5.13.a. of the Zoning By-law requires a minimum 2 loading spaces for a building with 2,000 to 7,999 square metres of gross floor area in a Commercial Zone, 1 loading space is proposed for the hotel. The intent of the loading space requirement is to ensure that developments can accommodate the movement of goods and services on-site in an orderly and efficient manner. The applicant has indicated that 1 loading space is proposed in order to reflect the actual operational needs of the hotel and to avoid the implementation of inefficient paved areas. The site plan process also takes into account circulation and traffic within the property.

Section 5.13.a of the Zoning By-law requires loading spaces to have a minimum dimension of 4 metres by 15 metres, the proposed loading spaces for Buildings D and E are 3.75 metres by 9.0 metres. The intention of this provision is to ensure that loading areas are of sufficient size to safely accommodate delivery and service vehicles on-site. This helps facilitate efficient loading operations while minimizing potential conflicts with on-site circulation and adjacent uses. It must be noted that, Buildings C, D, and E are not required to provide a loading space due to their smaller floor area. Nonetheless, for additional convenience smaller loading spaces are proposed abutting Building D and E to provide additional loading opportunities for smaller loading vehicles entering the development.

Section 16.2.h. of the Zoning By-law permits a maximum height of 10.5 metres, the proposed hotel is 16.1 metres in height plus a 2.13 metre parapet. The intention of this provision is to regulate the scale and massing of development to ensure compatibility with surrounding land uses and maintain an appropriate built form. The proposed hotel is five-stories in height, which aligns with the surrounding and broader mid-rise built-form context, including two nearby apartment buildings both six-stories in height and one of which is easily seen from the frontage of the subject property. The proposed building parapet is an architectural feature meant to serve the functional purpose of screening rooftop mechanical units and other utilities. Parapets also contribute to directing rainwater away from the building and into the drainage system. The applicable Zoning By-law prescribes height exceptions to certain structures and architectural features, however, parapets were not included.

Therefore, the variance is considered to maintain the general intent and purpose of the Zoning By-Law.

The variance is minor in nature.

There are no anticipated impacts on environmental features; neighbouring properties; or, the function of the municipal right-of-way with respect to access, drainage, or streetscaping and maintenance.

Other Alternatives Considered:

No alternatives considered.

Consultation Summary

Notice of this application was circulated in accordance with the requirements of the Planning Act.

Agency Comments:

No comments received as of the writing of the staff report.

Public Comments:

No comments received as of the writing of the staff report.

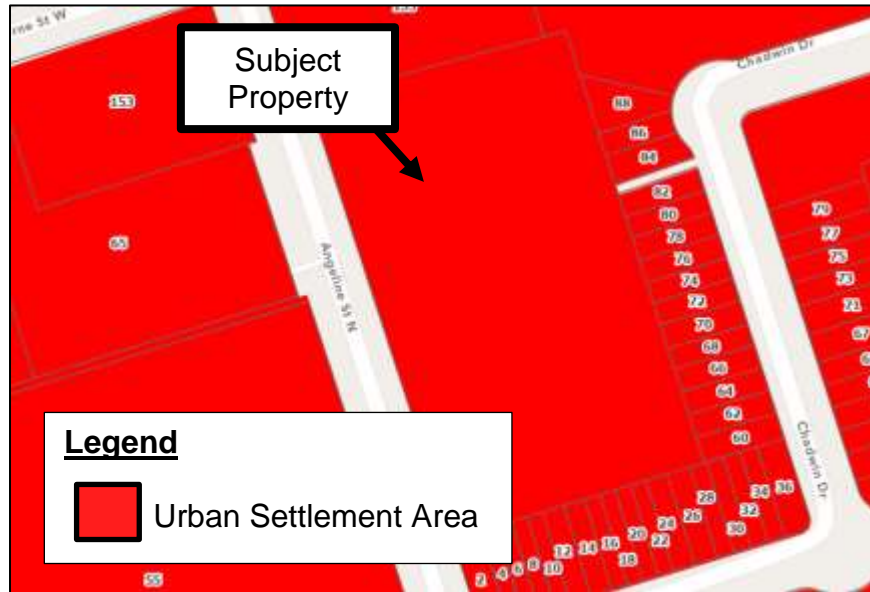
Attachments

- Appendix A – Location Map
- Appendix B – Aerial Photo
- Appendix C – Applicant’s Sketch
- Appendix D – Applicant’s Sketch, Large Format

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Department Head: Leah Barrie, Director of Development Services
Division File: D20-2026-041

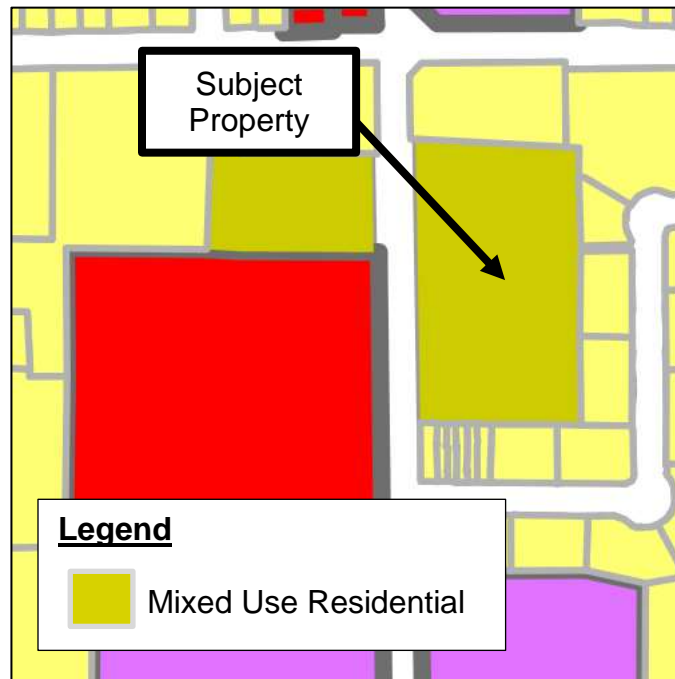
Schedule 1 Relevant Planning Policies and Provisions

City of Kawartha Lakes Official Plan (2012)



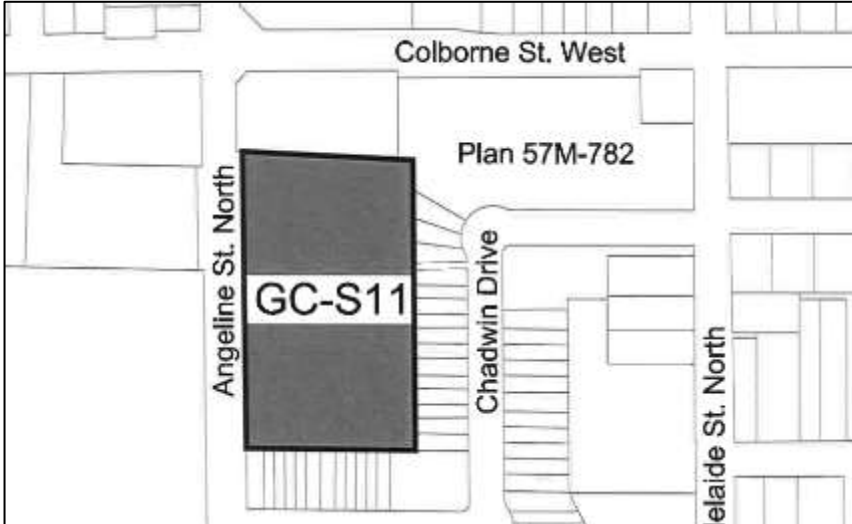
Section 18. Urban Settlement Designation

Lindsay Secondary Plan (2023)



Section 31.2.3.1.5. Mixed Use Residential

Town of Lindsay Zoning By-Law 2000-75



Section 5: General Provisions for All Zones

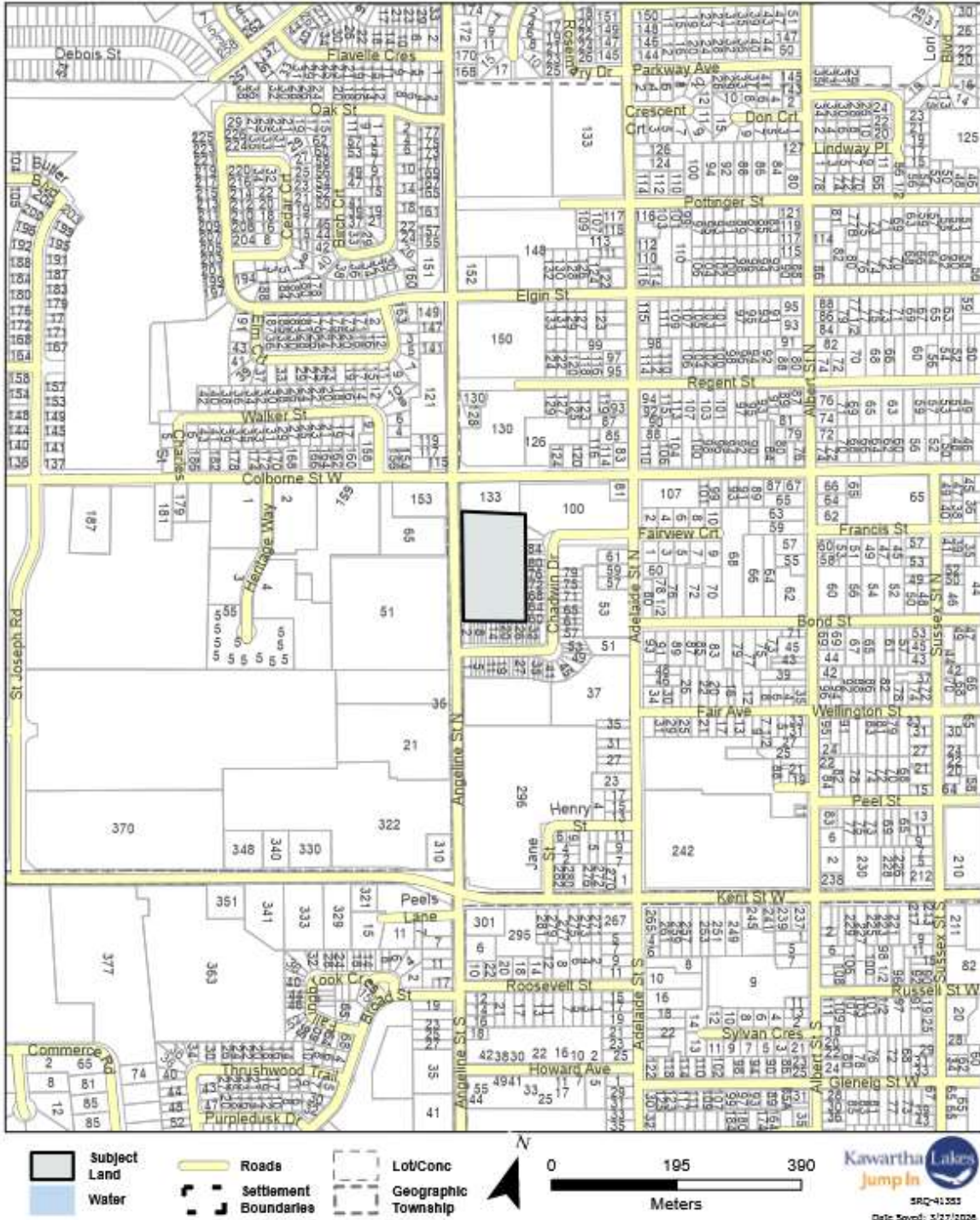
5.12 Parking and Loading Requirements

Section 16. General Commercial (GC) Zone

16.3.12 GC-S11 Zone

Location Map

D20-2026-041



Aerial Photo (2023)



Applicant's Sketch



LEGEND

- Building A: Hotel
- Building B: Retail Building
- Building C: Restaurant
- Building D: Restaurant
- Building E: Restaurant

REQUIRED RELIEFS (PROPOSED):

Parking Spaces for Hotel: 133 parking spaces for 111 guest rooms
Hotel Height: 16.1 m plus a 2.13 m parapet
Number of Loading Spaces for Hotel: 1 loading space
Loading Space Dimensions for Buildings D and E: 3.75 m by 9.0 m
Components requiring relief are circled in green on the site plan

Applicant's Sketch, Large Format

